

**MARION TOWNSHIP PLANNING COMMISSION
AGENDA**

REGULAR MEETING

May 24, 2022

7:30 PM

Virtual access instructions to participate in the meeting are posted on www.mariontownship.com

Call to Order:

Pledge of Allegiance:

Introduction of Members:

Approval of Agenda for: May 24, 2022 Regular Meeting

Approval of Minutes from: April 20, 2022 Regular Meeting

Call to the Public:

Public Hearing:

New Business:

- 1) SPR#02-21 Howell Storage Expansion Final Site
- 2) SPR#02-22 Marion D19 LLC Final Site Plan Review
- 3) SPR#03-22 Marion Oaks Clubhouse Final Site Plan Review
- 4) Discussion on open items and prioritize work tasks
 - a. Master Plan
 - b. Kennels
 - c. Solar
 - d. Storage containers

Unfinished Business:

Special Orders:

Announcements:

Call to the Public:

Adjournment

DRAFT

*Approved by: _____
Larry Grunn, Chairperson

Date: _____

**MARION TOWNSHIP PLANNING COMMISSION
SPECIAL JOINT PLANNING COMMISSION
& BOARD MEETING MINUTES
April 20, 2022 / 7:30PM**

MEMBERS PRESENT: LARRY GRUNN – *CHAIRPERSON*
BOB HANVEY
CHERYL RANGE – *SECRETARY*
BRUCE POWELSON
JAMES ANDERSON – *VICE CHAIR*

OTHERS PRESENT: DAVE HAMANN – *ZONING ADMINISTRATOR*
JOHN ENOS – *CARLISLE WORTMAN*
SARAH THOMAS – *LIVINGSTON LAND CONSERVATORY*
BARRY LONIK – *TREEMORE ECOLOGY & LAND SERVICES*

MEMBERS ABSENT: NONE

CALL TO ORDER:
Larry Grunn called the meeting to order at 7:30 p.m.

PLEDGE OF ALLEGIANCE:

APPROVAL OF AGENDA:
Approval of the Regular Meeting Agenda for April 20, 2022
Jim Anderson motioned to approve the agenda for the April 20, 2022 Planning Commission agenda. Bruce Powelson seconded. **MOTION CARRIED**

APPROVAL OF MINUTES:
Approval of the Regular Meeting Minutes for March 22, 2022
Jim Anderson motioned to approve the minutes for the March 22, 2022 Planning Commission Meeting. Cheryl Range seconded. **MOTION CARRIED**

CALL TO THE PUBLIC:
Michael Sage resides at 1210 Tracilee and backs up to the new Tamarack development project. Mr. Sage wanted to make sure that the working hours are more considerate in the warmer months to come. The amount of noise that currently comes from the new development on that property, will be more noticeable when the surrounding neighbors have their windows open in the warmer months. Noise such as backup alarms from the trucks, along with other noises coming from the various equipment used on the property. Currently the builders begin working around 6:30am and stop around 9:00pm. He wanted to bring this to the Planning Commission's attention before the warmer months begin, when the noise could be more of a disturbance.

NEW BUSINESS:

1) SPR# 01-22 LOREA TOPSOIL & AGGREGATE SITE PLAN REVIEW

Matt Peavy owns LoRea Topsoil & Aggregate and wishes to add on to his existing building. John Enos said that this is a 1000 square foot addition (towards the North). No landscaping is needed and they have already received approval from the Fire Department and the Drain Commission. There is little to no waste, so they do not have a lot of garbage. Larry Grunn inquired about the fabric structure and shipping containers that are on the property. Sara Peavy stated that the fabric structure is a fabric Dome that covers their topsoil, in attempt to keep it dry. John Enos reminded the Commissioners that shipping containers are allowed in industrial-zoned areas such as LoRea. Sara Peavy said they use the shipping container for equipment and supplies for their landscaping products.

Cheryl Range made a motion to recommend approval to the Board of Trustees for the SPR# 01-22 LoRea Topsoil & Aggregate Site Plan.

Bruce Powelson seconded. **MOTION CARRIED**

NEW BUSINESS:

2) PDR PRESENTATION WITH BARRY LONIK & SARA THOMAS

Jim Anderson introduced Sara Thomas with the Livingston Land Conservatory and Barry Lonik of Treemore Ecology & Land Services.

John Enos explained that they are with us to explain about preserving open space and farmland. Washtenaw County has been doing this for years, buying the development rights of the property or purchasing the property outright.

Masterplan survey revealed that residents like Marion Township because of the open space and rural character. What they want is to preserve nature, walking paths, sports fields and play grounds.

Sara Thomas explained that their goal is to preserve the rural character of the community, they work on donations and grants. They are stewards of 16 parcels throughout Livingston County which they monitor the land so that it stays within the parameters of the conservatory. Most jurisdictions waive the taxes on land that is owned by the conservatory.

Barry Lonik explained that there are two ways to protect development rights, one by selling the land out right to a conservatory and the other by selling the development rights. When the development rights are sold then there are permanent restrictions such as no land divisions, no commercial activities, no new structures or impervious surfaces, no roads or mining or resource extractions, no dumps, motorized vehicles or foresting without an approved plan. Some of the permitted activities are agriculture, non-motorized recreation, leasing, ecological restoration, conveyance to another owner and hunting. There is perpetual, annual monitoring and enforcement to verify the restrictions are followed. Monies can be obtained through a millage.

CALL TO THE PUBLIC

Rob Sanford from Livingston County Planning said that he is happy to see that Marion Township is investigation PDR's. He explained that in the last 17 years Livingston County has lost almost 9,000 acres that would have been perfect for purchasing of developmental rights. They have a brown bag lunch on this topic coming up.

ANNOUNCEMENTS

Dave Reminded the Commissioners that there are two site plan reviews for May; The Howell Storage final and The Marion D19 LLC addition.

ADJOURNMENT

Jim Anderson made a motion to adjourn at 9:35 pm., Bruce Powelson seconded. **MOTION CARRIED**



May 16, 2022

Dave Hamann, Zoning Administrator
Marion Township
2877 W. Coon Lake Road
Howell, MI 48843

RE: Howell Storage Expansion
Final Site Plan Review

Mr. Hamann:

We have received and reviewed the Final Site Plan for Howell Storage. The property's address is 1650 Pinckney Road and is located north of Sedum Road. The plans were prepared by Lawrence Engineering P.C., dated March 21, 2022. We offer the following comments:

General

The existing site is currently zoned as Highway Service District (HS) and is already a developed storage facility with 15 existing storage buildings. The site plan proposes three additional storage buildings and an approximate 1,025 yd² of proposed gravel surface for future portable storage units.

The correct setbacks are listed on the plans. The portable storage units on the proposed gravel surface located on the north side of the site, may violate the 25 feet side yard setback requirement.

The gross acreage of the site should be provided.

A location map is provided on the cover sheet.

A quality aerial photograph with adjacent property information and features will be required on the plans.

A legal description is provided and closes within acceptable limits.

Water Main

No existing or proposed water services are shown or required.

Sanitary Sewer

There is a 50' wide septic line easement that cuts through the northeast corner of the site. The plans do not show an existing or proposed sanitary sewer.

Storm Sewer

There is an existing stormwater conveyance system, which routes the stormwater towards the northwest corner of the site to the wetland area. The plan proposes for 124' of 12" pipe to be either abandoned in place or removed. A proposed manhole and two runs of 12" RCP pipe are proposed to route the storm line around the proposed building. The existing northwest manhole is to be replaced with an underground pre-treatment manhole to remove particulates. Two forebays are proposed on the south side of the site. Runoff is proposed to sheet flow to each of the forebays and then discharge to the wetland and pond located on site.

May 16, 2022

Page 2 of 2

The forebays appear to be adequately sized for their drainage districts. We defer to Livingston County Drain Commissioner for additional review and comment.

Since there is no increase to the impervious area on the site, the existing northwest wetland area and southeast pond should be adequate for retention.

Grading and Paving

The existing site is graded towards the northwest corner of the site.

The existing gravel visitor parking lot to the southeast of the existing office building is proposed to be paved. The proposed parking lot is composed of 4 inches of HMA place in two lifts, and 8 inches of 21AA gravel. This pavement cross section meets the Township's requirements.

A gravel surface area for future portable storage units is existing along the north boundary of the property line and consists of 8 inches of 21AA gravel, which is acceptable.

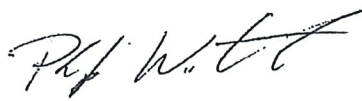
Recommendation

At this time, we recommend the plan be considered for approval, with the following conditions:

1. Plans should be reviewed and approved by Livingston County Drain Commissioner.

If you have any questions or require any additional information, please contact our office.

Sincerely,



Elsie Jorgensen, EIT

Design Engineer I

Phone: (269)-252-6100

Mailto: elsie.jorgensen@spicergroup.com

Philip A. Westmoreland, P.E.

Senior Project Manager

Phone: (517) 375-9449

Mailto: Philaw@spicergroup.com

SPICER GROUP, INC.

125 Helle Dr, Suite 2

Dundee, MI 48131

CC: SGI File



Carlisle | Wortman

ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: April 3, 2022

Site Plan Amendment For Marion Township, Michigan

Applicant: Jim Abraham
Project Name: Howell Storage Addition
Location: 1650 Pinckney Road
Zoning: HS Highway Service
Action Requested: Site Plan Approval

PROJECT AND SITE DESCRIPTION

The applicant is requesting an amendment for the construction of additional storage units and within the existing 12.27-acre Howell mini-storage facility at 1650 Pinckney Road just west of the Mugg and Bopp's facility. The business currently has fifteen (15) units, and the request is to install an additional three (3) units along with two (2) future portable storage units. This area has been used for the outdoor storage of RV's and boats. Will the site continue to have area for boat and RV storage? A proposed gravel surface is proposed for future portable storage units. This should be clarified. The surface for the storage units will continue to be aggregate rather than the preferred asphalt. In addition, the applicant is requesting to construct a paved parking area near the entrance consisting of eleven (11) spaces and one (1) ADA space.

The site plan provides good detail in regard to engineering, lighting, location and types of units to be installed.

Items to be addressed: Clarify RV and boat storage areas.

Location



PARKING AND CIRCULATION

Several existing parking spaces, twelve (12) are proposed on site will be asphalt and are currently gravel. The Fire Department should review and approve access as well as internal circulation and their ability to access all units.

Items to be Addressed: Review and approval by Fire Department.

ESSENTIAL FACILITIES AND SERVICES

No public water or sewer is shown on the plan. However, a public septic easement does bisect the parcel. Because the project plans to expand hard surface storm water is shown on the plan.

*Items to be Addressed: 1.) Review and approval of infrastructure needs by Township engineer.
2.) Confirm need for Livingston County Drain approval.*

RECOMMENDATIONS

We would recommend approval of the proposed site plan conditional upon the following items being addressed to the satisfaction of the Planning Commission.

- 1) Clarify RV and boat storage areas.
- 2) Review and approval by Fire Department.
- 3) Review and approval of infrastructure needs by Township engineer.
- 4) Confirm need for Livingston County Drain approval.
- 5) Building lights should be down shielded and motion activated, if possible.

Dave Hamann

From: Ken Recker <KRecker@livgov.com>
Sent: Tuesday, March 29, 2022 5:24 PM
To: Dave Hamann
Cc: Melissa Lawrence; Rod Soos
Subject: RE: [EXT] FW: Howell Storage Site - Updated Site Plan
Attachments: RE: [EXT] Re: FW: Howell Storage Site, D-19 (3.36 MB)

Dave,

These plans match the plans sent to me by Lawrence Engineering on March 21, 2021. They have incorporated changes requested in my previous email dated March 16, 2022 (attached).

We have no objection to approving the project as submitted. A commercial soil erosion and sedimentation control permit will be required prior to the start of grading, which we will issue following receipt of application materials.

If you have any further questions let me know.

Kenneth E. Recker, II, P.E.
Chief Deputy Drain Commissioner

From: Dave Hamann <za@mariontownship.com>
Sent: Tuesday, March 29, 2022 4:54 PM
To: Ken Recker <KRecker@livgov.com>; Jamil Czubenko <jczubenko@howellfire.net>; khiller@livingstonroads.org;
Aaron Aumock <AAumock@livgov.com>
Subject: [EXT] FW: Howell Storage Site - Updated Site Plan

"The e-mail below is from an external source. Please do not open attachments or click links from an unknown or suspicious origin."

Attached please find the final site plan for your review and comment. This is a final site plan to add a number of buildings to the storage facility. You reviewed the preliminary back in September of 2021. If I could ask to have your response back by April 11 so I can get it into the Planning Commission packet that would be very helpful! Thank you in advance for your review!

Dave Hamann
Zoning Administrator
Marion Township
2877 W. Coon Lake Road
Howell, MI 48843
Phone (517) 546-1588
za@mariontownship.com

Dave Hamann

From: Ken Recker <KRecker@livgov.com>
Sent: Wednesday, March 16, 2022 5:12 PM
To: Melissa Lawrence
Cc: pjlewsley@envrngrs.com; za@mariontownship.com; Rod Soos; manager@howellstorage.com
Subject: RE: [EXT] Re: FW: Howell Storage Site, D-19
Attachments: Howell Storage Redline.pdf

Ms. Lawrence/Mr. Bridenstine:

I've reviewed the plans you sent via email last week pursuant to our meeting on March 10, 2022.

The concept for the first flush basins at both the front and the rear of the mini-storage looks workable. The first flush basins will improve the water quality associated with the discharges on the east and west of the project site.

I've attached sheet three through six of the plan set, though the bulk of my comments are on Sheet No. 3. I will have my soil erosion inspector Rod Soos review the SESC plan (Sheet 4) tomorrow and send you comments.

In addition to my redlined remarks, the plans should include a detail for rip-rap placed over keyed in geofabric associated with the following:

1. The swale downstream of the outlet pipe for first flush pond No. 1.
2. The overflow swale for first flush pond No. 2

If you have any further questions please give me a call at 517-552-6772.

Sincerely,
Kenneth E. Recker, II, P.E.
Chief Deputy Drain Commissioner

From: Melissa Lawrence <1996lepc@gmail.com>
Sent: Friday, March 11, 2022 12:39 PM
To: Ken Recker <KRecker@livgov.com>; pjlewsley@envrngrs.com
Subject: Re: [EXT] Re: FW: Howell Storage Site, D-19

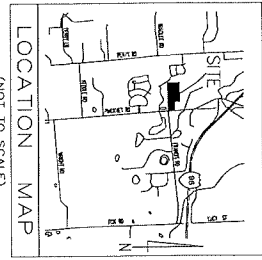
"The e-mail below is from an external source. Please do not open attachments or click links from an unknown or suspicious origin."

Attached is the updated site plan with the storm design we discussed yesterday. Thanks for your help with this.

Bryan Bridenstine
Lawrence Engineering P.C.

On Tue, Mar 8, 2022 at 8:03 AM Ken Recker <KRecker@livgov.com> wrote:

2300 E. Grand River, Suite 105, Howell, MI 48843



LOCATION MAP
(NOT TO SCALE)

HOWELL STORAGE 1650 PINCKNEY ROAD MARION TOWNSHIP LIVINGSTON COUNTY SEC 2, T2N-R4E

FOR:
JIM ABRAHAM
1650 PINCKNEY ROAD
HOWELL, Michigan 48843
810-694-7707

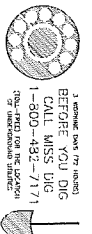
INDEX OF SHEETS:
SHEET 1 - NATURAL FEATURES
SHEET 2 - SITE PLAN
SHEET 3 - EROSION CONTROL PLAN
SHEET 4 - LIGHTING PLAN
SHEET 5 - AERIAL PHOTO

BENCHMARK NO. 1
BENCH MARK SYMBOL NUMBER:
ELEVATION: 580.0 (MAD89)

BENCHMARK NO. 2
BENCH MARK SYMBOL NUMBER:
ELEVATION: 415.0 (MAD89)

PROPERTY DESCRIPTIONS:

THE PROPERTY DESCRIBED IS A 1.00 AC. PARCEL OF LAND, MORE OR LESS, BEING A PART OF THE SURVEYED 1/4 OF SECTION 2, T2N, R4E, S2W, LIVINGSTON COUNTY, MICHIGAN, BEING MORE OR LESS THE SAME AS SHOWN ON THE AERIAL PHOTO ATTACHED HERETO AS SHEET 5 OF THIS SET OF PLANS. THE PROPERTY IS BOUND BY THE WEST LINE OF SECTION 2, T2N, R4E, S2W, LIVINGSTON COUNTY, MICHIGAN, TO THE WEST; BY THE EAST LINE OF SECTION 2, T2N, R4E, S2W, LIVINGSTON COUNTY, MICHIGAN, TO THE EAST; BY THE SOUTH LINE OF SECTION 2, T2N, R4E, S2W, LIVINGSTON COUNTY, MICHIGAN, TO THE SOUTH; AND BY THE NORTH LINE OF SECTION 2, T2N, R4E, S2W, LIVINGSTON COUNTY, MICHIGAN, TO THE NORTH. THE PROPERTY IS BOUND BY THE WEST LINE OF SECTION 2, T2N, R4E, S2W, LIVINGSTON COUNTY, MICHIGAN, TO THE WEST; BY THE EAST LINE OF SECTION 2, T2N, R4E, S2W, LIVINGSTON COUNTY, MICHIGAN, TO THE EAST; BY THE SOUTH LINE OF SECTION 2, T2N, R4E, S2W, LIVINGSTON COUNTY, MICHIGAN, TO THE SOUTH; AND BY THE NORTH LINE OF SECTION 2, T2N, R4E, S2W, LIVINGSTON COUNTY, MICHIGAN, TO THE NORTH. THE PROPERTY IS BOUND BY THE WEST LINE OF SECTION 2, T2N, R4E, S2W, LIVINGSTON COUNTY, MICHIGAN, TO THE WEST; BY THE EAST LINE OF SECTION 2, T2N, R4E, S2W, LIVINGSTON COUNTY, MICHIGAN, TO THE EAST; BY THE SOUTH LINE OF SECTION 2, T2N, R4E, S2W, LIVINGSTON COUNTY, MICHIGAN, TO THE SOUTH; AND BY THE NORTH LINE OF SECTION 2, T2N, R4E, S2W, LIVINGSTON COUNTY, MICHIGAN, TO THE NORTH.



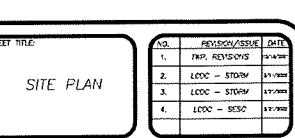
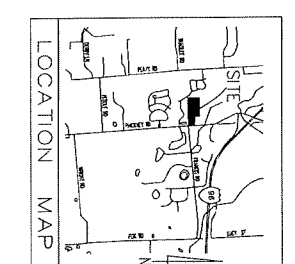
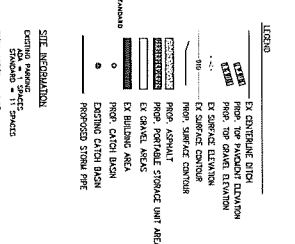
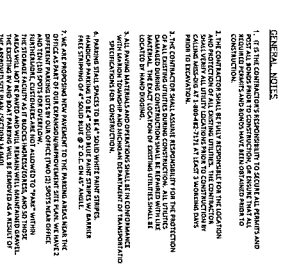
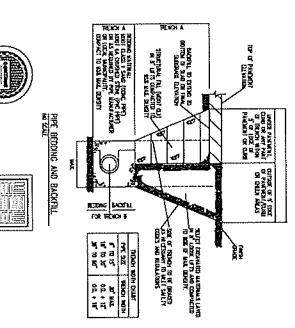
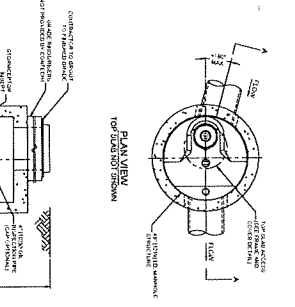
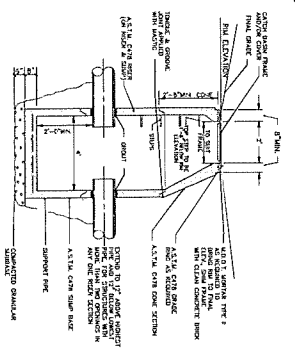
Jeffrey L. BERGER
Professional Engineer
License No. 4327
State of Michigan
CALL: MISS: 810-694-7707

LAWRENCE ENGINEERING P.C.
CIVIL ENGINEERING - SURVEYING
4344 SILVER LAKE RD. LINDEN MI 48451
PHONE: (810) 750-5290 Email: lawrence@lpc.com



UTILITY NOTE

THE UTILITY LOCATIONS AS SHOWN ARE BASED ON FIELD OBSERVATIONS AND A CAREFUL REVIEW OF AVAILABLE RECORDS. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH, AND CHARACTER OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. THE CONTRACTOR SHALL NOTIFY THE UTILITY OWNERS PRIOR TO ANY WORK THAT MAY AFFECT THE UTILITIES. THE CONTRACTOR SHALL MAINTAIN THE UTILITIES AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. THE CONTRACTOR SHALL NOTIFY THE UTILITY OWNERS PRIOR TO ANY WORK THAT MAY AFFECT THE UTILITIES. THE CONTRACTOR SHALL MAINTAIN THE UTILITIES AT ALL TIMES.



First Flush Storage #1
Date: 3/12/2022

Site Information

Site Area (A1) = 3.3 Acres
 Buffer/Permit (A1/B) = 0.88 Acres
 Good Grass Cover (A1/B) = 0.95 Acres
 Good Grass Cover (A1/C) = 1.42 Acres
 Good Grass Cover (A1/D) = 0.25 Acres

N = (A1/B) Total Land = 3.3 Acres
 A1 = 0.88 Acres

NV = 0.518 (Weighted Volume)
 NVV = 1.01 inches (Using 1" of Rainfall from entire Site)
 NVV = 4.935 ft³ (0.518 in * 14,120 ft² * 2.30 in * 4590 ft³/in)

First Flush #1 Summary
 req'd V(1) = 4,325 cu. ft.
 TOP OF POND = 907.00'
 STORAGE BOTTOM OF POND = 905.00'
 DEPTH = 2 V(1) = 5,858.00 cu. ft.
 SLOPE = 1:6

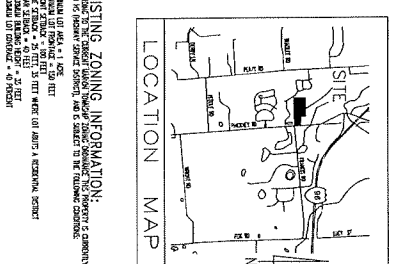
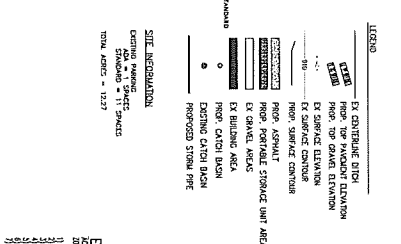
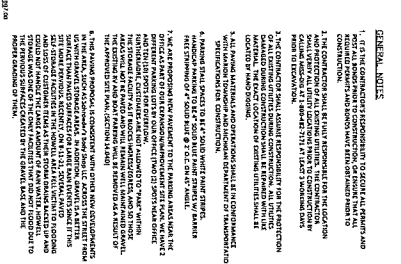
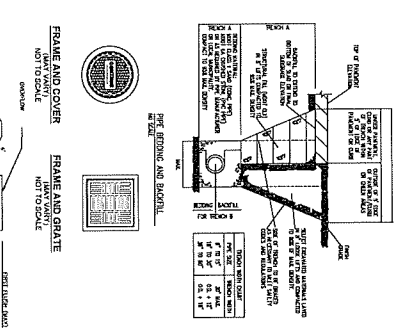
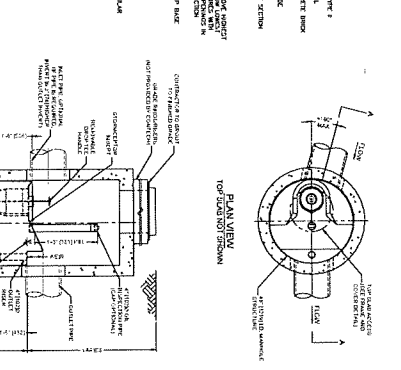
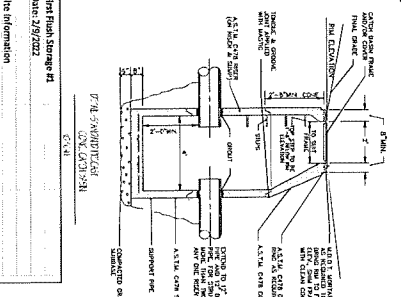
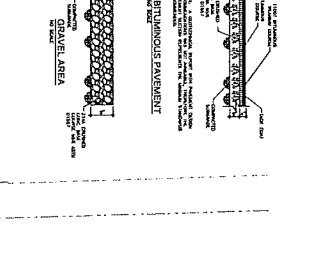
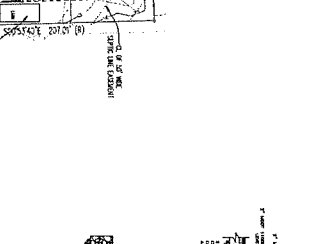
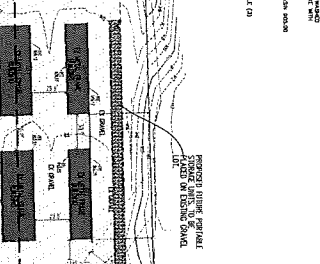
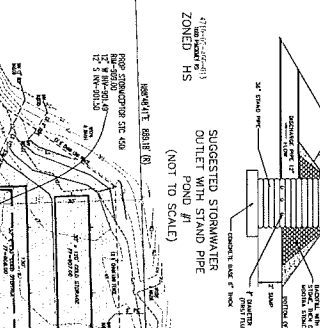
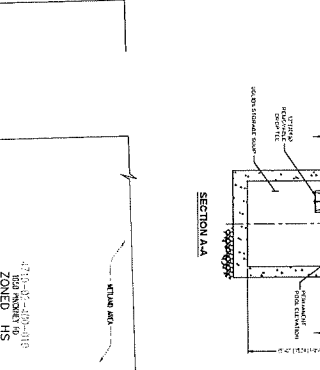
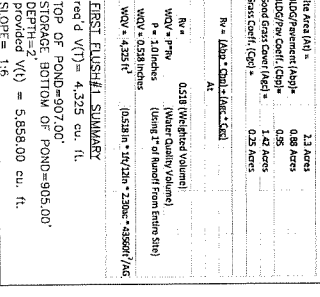
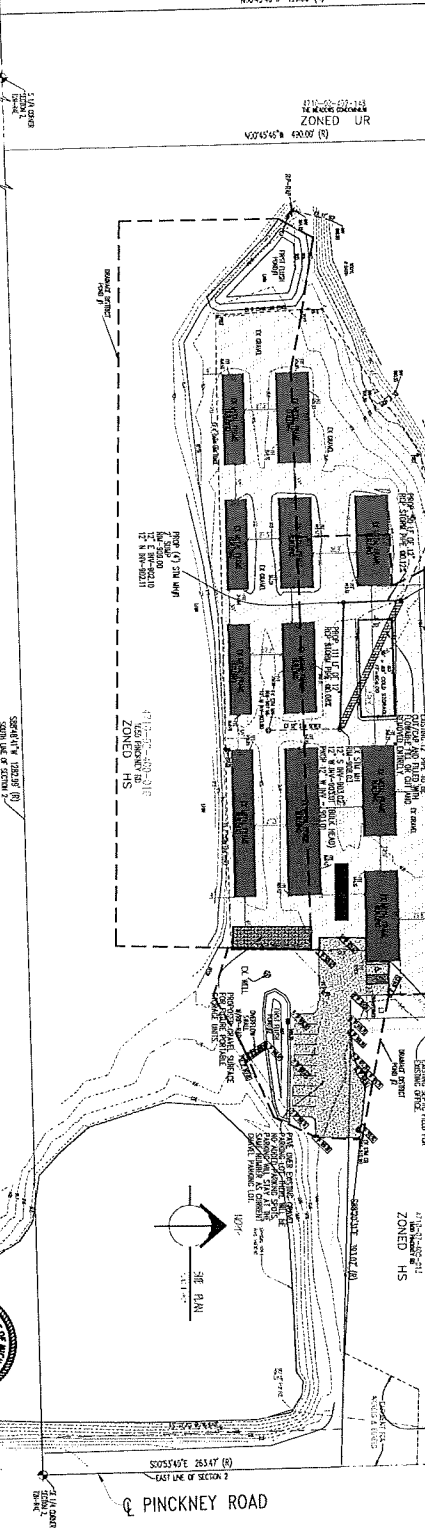
Site Information

Site Area (A1) = 0.88 Acres
 Buffer/Permit (A1/B) = 0.21 Acres
 Buffer/Permit (A1/C) = 0.25 Acres
 Good Grass Cover (A1/B) = 0.27 Acres
 Good Grass Cover (A1/C) = 0.25 Acres

N = (A1/B) Total Land = 0.46 Acres
 A1 = 0.21 Acres

NV = 0.288 (Weighted Volume)
 NVV = 0.576 inches (Using 1" of Rainfall from entire Site)
 NVV = 0.81 ft³ (0.288 in * 14,120 ft² * 2.30 in * 4590 ft³/in)

First Flush #2 Summary
 req'd V(2) = 981.00 cu. ft.
 TOP OF POND = 908.00'
 STORAGE BOTTOM OF POND = 907.00'
 DEPTH = 1 V(2) = 1,041 cu. ft.
 SLOPE = 1:6

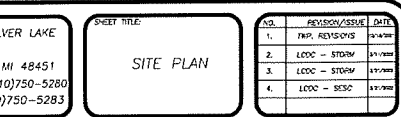


GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES.

LEGEND

- EX - EXISTING CONDI
- PROP - PROPOSED CONDI
- PROP - PROPOSED ELEVATION
- EX - EXISTING ELEVATION
- PROP - PROPOSED ELEVATION
- EX - EXISTING CONDUIT
- PROP - PROPOSED CONDUIT
- EX - EXISTING MANHOLE
- PROP - PROPOSED MANHOLE
- EX - EXISTING PIPE
- PROP - PROPOSED PIPE
- EX - EXISTING ROAD
- PROP - PROPOSED ROAD
- EX - EXISTING DRIVE
- PROP - PROPOSED DRIVE
- EX - EXISTING SIDEWALK
- PROP - PROPOSED SIDEWALK
- EX - EXISTING CURB
- PROP - PROPOSED CURB
- EX - EXISTING FENCE
- PROP - PROPOSED FENCE
- EX - EXISTING SIGN
- PROP - PROPOSED SIGN
- EX - EXISTING LIGHT
- PROP - PROPOSED LIGHT
- EX - EXISTING UTILITY
- PROP - PROPOSED UTILITY
- EX - EXISTING TREE
- PROP - PROPOSED TREE
- EX - EXISTING PLANT
- PROP - PROPOSED PLANT
- EX - EXISTING LANDSCAPE
- PROP - PROPOSED LANDSCAPE
- EX - EXISTING SITE
- PROP - PROPOSED SITE
- EX - EXISTING ADJACENT
- PROP - PROPOSED ADJACENT
- EX - EXISTING NEIGHBOR
- PROP - PROPOSED NEIGHBOR
- EX - EXISTING ROADWAY
- PROP - PROPOSED ROADWAY
- EX - EXISTING HIGHWAY
- PROP - PROPOSED HIGHWAY
- EX - EXISTING AVENUE
- PROP - PROPOSED AVENUE
- EX - EXISTING STREET
- PROP - PROPOSED STREET
- EX - EXISTING DRIVEWAY
- PROP - PROPOSED DRIVEWAY
- EX - EXISTING ALLEY
- PROP - PROPOSED ALLEY
- EX - EXISTING COURT
- PROP - PROPOSED COURT
- EX - EXISTING LANE
- PROP - PROPOSED LANE
- EX - EXISTING BOULEVARD
- PROP - PROPOSED BOULEVARD
- EX - EXISTING PARKWAY
- PROP - PROPOSED PARKWAY
- EX - EXISTING BLVD
- PROP - PROPOSED BLVD
- EX - EXISTING HWY
- PROP - PROPOSED HWY
- EX - EXISTING RFD
- PROP - PROPOSED RFD
- EX - EXISTING RD
- PROP - PROPOSED RD
- EX - EXISTING DR
- PROP - PROPOSED DR
- EX - EXISTING LN
- PROP - PROPOSED LN
- EX - EXISTING CIRCLE
- PROP - PROPOSED CIRCLE
- EX - EXISTING BLVD
- PROP - PROPOSED BLVD
- EX - EXISTING HWY
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- EX - EXISTING DR
- PROP - PROPOSED DR
- EX - EXISTING LN
- PROP - PROPOSED LN
- EX - EXISTING CIRCLE
- PROP - PROPOSED CIRCLE



PROJ: HOWELL STORAGE
 FOR: JIM ABRAHAM
 1650 PINKNEY ROAD
 HOWELL, MI 48843
 (810)594-7707

DATE: 2021-012
 8/30/2021
 SHEET: 2 OF 5
 MML

LAWRENCE ENGINEERING P.C.
 ENGINEERING

4344 SILVER LAKE ROAD
 LINDEN, MI 48451
 OFFICE: (810)750-5280
 FAX: (810)750-5283

NO.	REVISION/ISSUE	DATE
1.	TRP. REVISIONS	8/30/2021
2.	LOC - STORM	8/30/2021
3.	LOC - STORM	8/30/2021
4.	LOC - STORM	8/30/2021

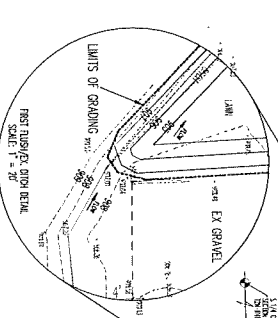
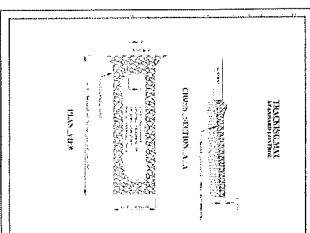
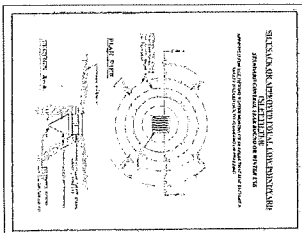
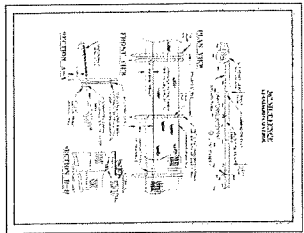
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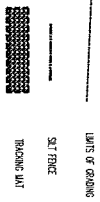
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NO.	REVISION/ISSUE	DATE
1.	TRP. REVISIONS	8/30/2021
2.	LOC - STORM	8/30/2021
3.	LOC - STORM	8/30/2021
4.	LOC - STORM	8/30/2021



54	UR	UR
35	UR	UR
36	UR	UR



GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MICHIGAN DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS AND SPECIFICATIONS FOR ROADWAY CONSTRUCTION FOR MAINTENANCE DISTRICTS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES.
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7. ALL PERMITS MUST BE OBTAINED PRIOR TO CONSTRUCTION.

SOIL EROSION & SEDIMENTATION CONTROL MEASURES

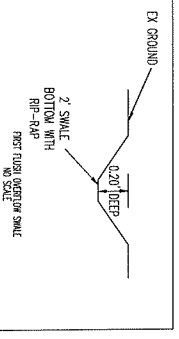
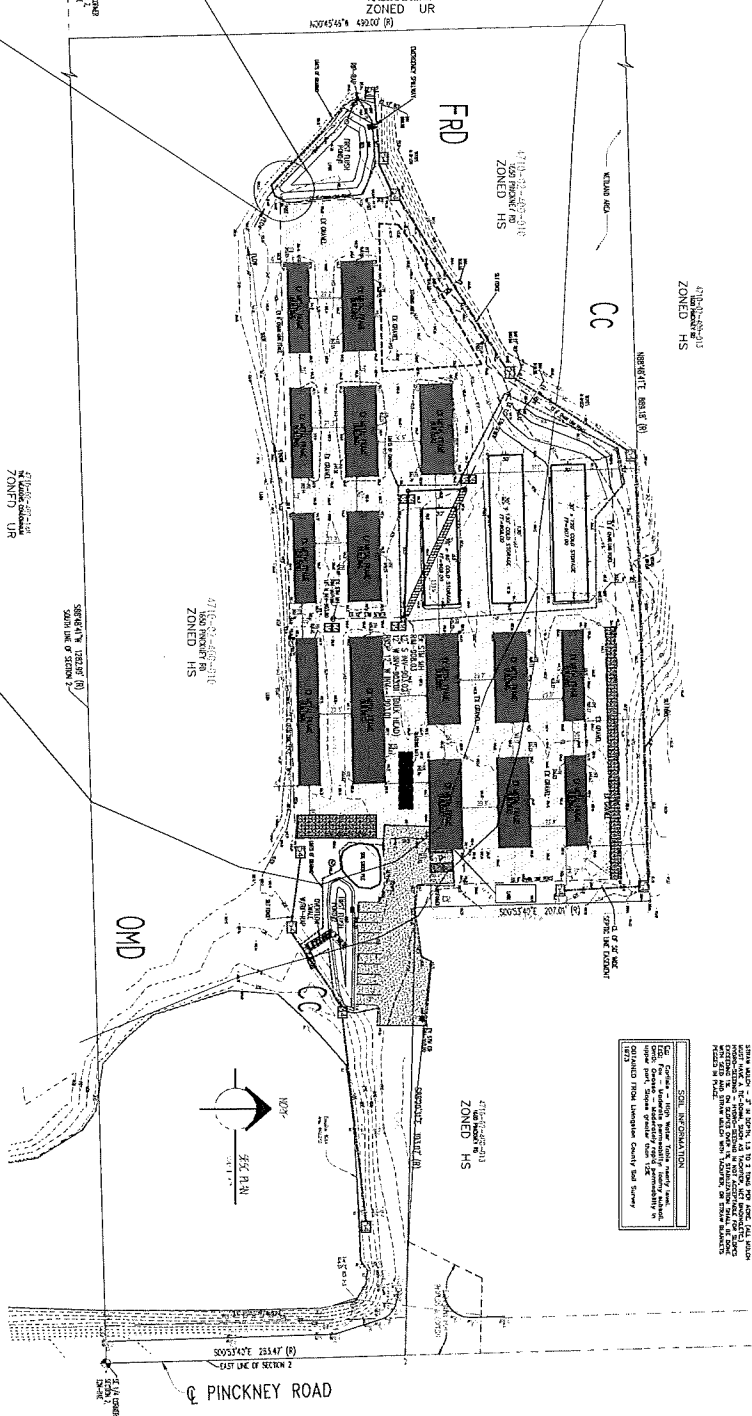
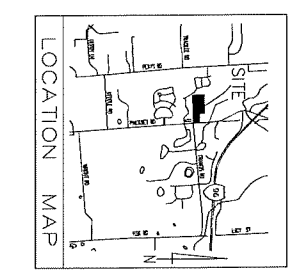
1. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION AND THROUGHOUT THE CONSTRUCTION PERIOD.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES.
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PROJECT NO.	2021-012
DATE	8/30/2021
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SHEET	3 OF 5

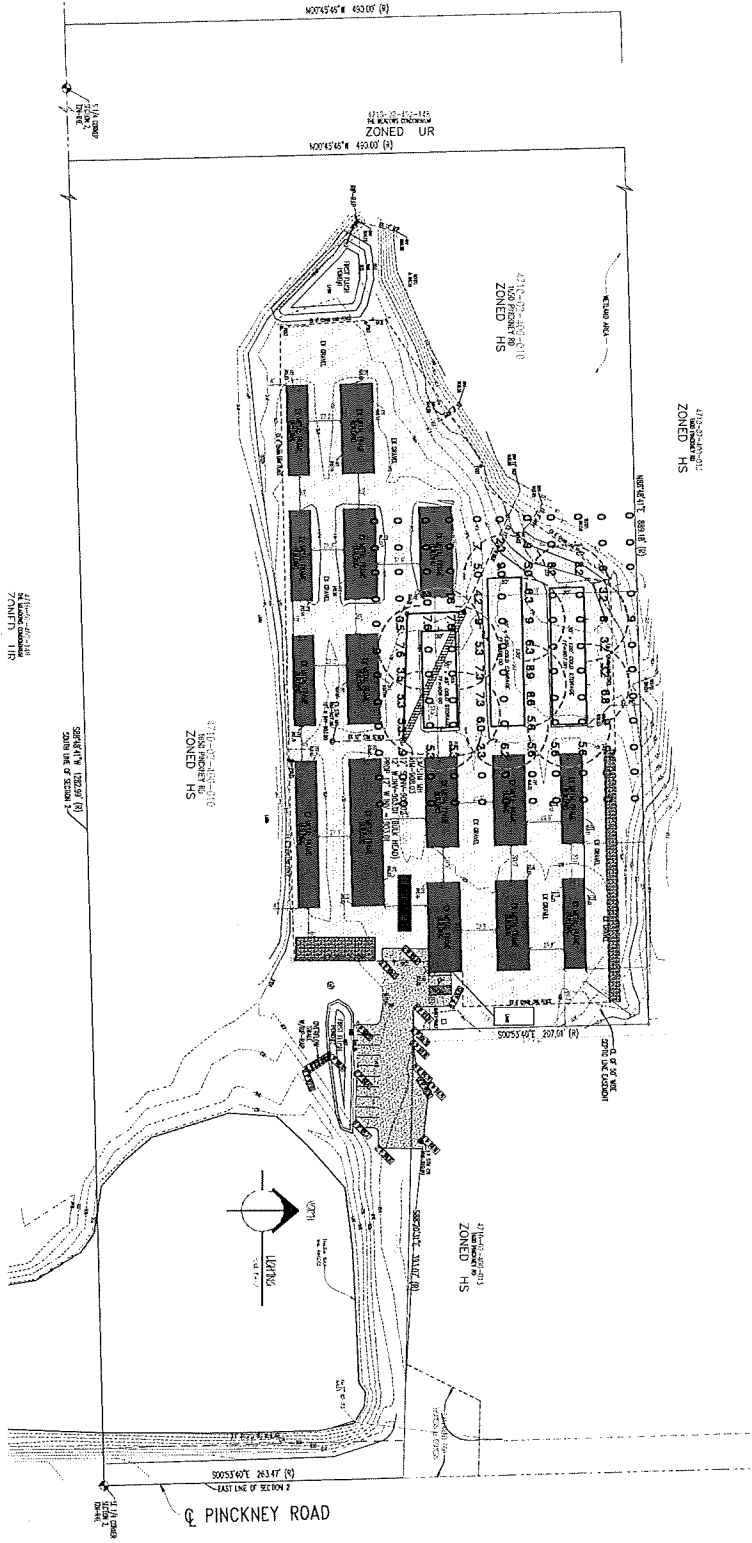
PROJECT: HOWELL STORAGE
FOR:
JIM ABRAHAM
1650 PINCKNEY ROAD
HOWELL, MI 48843
(810)694-7707

LAWRENCE ENGINEERING P.C.
ENGINEERING

4344 SILVER LAKE ROAD
LINDEN, MI 48841
OFFICE: (810)750-5280
FAX: (810)750-5283

SHEET TITLE: SOIL EROSION CONTROL PLAN

NO.	REVISION/SCALE	DATE
1.	TRP. REVISIONS	8/30/21
2.	CCOC - STORY	8/30/21
3.	CCOC - STORY	8/30/21
4.	CCOC - STORY	8/30/21



ILLUMINANCE

TOTAL HORIZONTAL ILLUMINATION (INITIAL FOOTCANDLES)
ON A FOOT WORKPLANE

- LEGEND**
- +0.1 FOOT CANDLE BOUNDARY LINE
 - PROPOSED BUILDING LIGHT
- SITE LIGHTING**
- RECURRING LIGHT FIXTURE
 - FIXTURE TYPE AND UTILITY SET TO MEET IESNA LPI (FULL CUTOFF FIXTURE) AVERAGE TO MINIMUM RATIO 1:8.01



JOB NO:	2021-012	SHEET:	4 OF 5
DATE:	8/30/2021	DRAWN BY:	BLB
CHECKED BY:	MML		

PROJECT:
HOWELL STORAGE
 FOR
JIM ABRAHAM
 1650 PINCKNEY ROAD
 HOWELL, MI 48843
 (810)694-7707

LAWRENCE ENGINEERING P.C.
 ENGINEERING

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 LINDEN, MI 48451
 OFFICE:(810)750-5280
 FAX:(810)750-5283

SHEET TITLE:
LIGHTING PLAN

NO.	REVISION/ISSUE	DATE
1.	IMP. REVISIONS	8/30/2021
2.	LOCC - STORM	8/30/2021
3.	LOCC - STORM	8/30/2021
4.	LOCC - SESS	8/30/2021



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ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

May 6, 2022

Preliminary and Final Site Plan Review for Marion Township, Michigan

Applicant:	Todd Lekander
Project Name:	Dunkin'
Plan Date:	April 1, 2022
Location:	1648 Pinckney (4710-02-400-013)
Action Requested:	Preliminary and final site plan approval

PROJECT NARRATIVE

The applicant is requesting a combined preliminary and final site plan approval for an addition to an existing building that has a Mug and Bops gas station/convenience store and Dunkin' restaurant/drive-through.

The proposed addition would be located at the southeastern corner of the existing building. It would measure roughly 10 feet by 25 feet, with an area of 252.1 square feet. The addition would allow space for Dunkin' to expand their commercial kitchen and in order to install automated equipment.

The site plan does not call for any other changes to the existing site.

The site plan is generally complete, relative to the limited-scope of the proposed building addition, except as otherwise noted in this report.

Site plans are reviewed by the Planning Commission, which forwards them with a recommendation to the Township Board for final action.

Dunkin' Kitchen Expansion
 Preliminary and Final Site Plan Review
 May 6, 2022

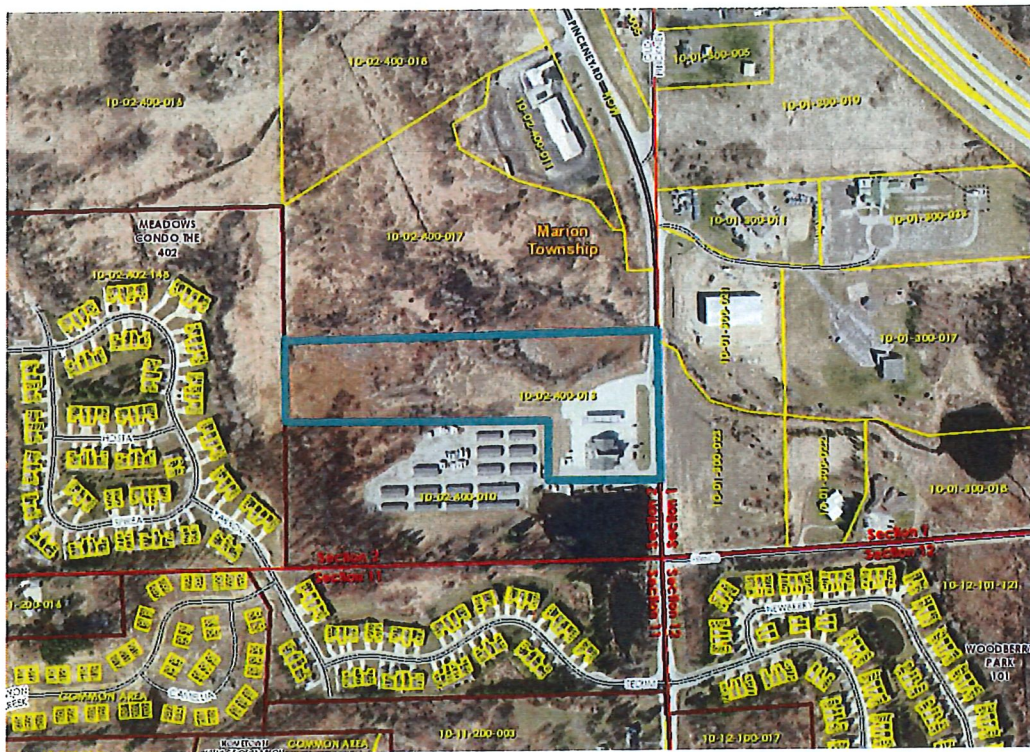
SITE DESCRIPTION

Lot Area: ~10.2 acres (gross)
 ~444,312 square feet (gross)

Frontage: ~500 feet along Pinckney

Current Use: Gas station/convenience store, restaurant/drive-through

Aerial image of the site



	North	East	South	West
Surrounding Zoning	HS Highway Service	HS Highway Service	HS Highway Service	UR Urban Residential
Surrounding Land Uses	Vacant	Body shop, Vacant	Mini-storage	Attached residential, mini-storage
Future Land-Use Map	Commercial	Commercial	Sewered High Density Residential	Sewered High Density Residential

Dunkin' Kitchen Expansion

Preliminary and Final Site Plan Review

May 6, 2022

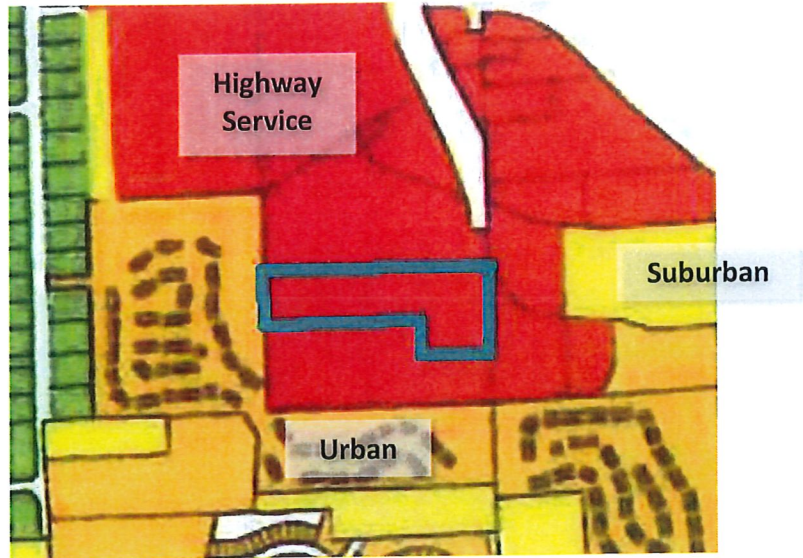
<p>Future Land Use Map:</p>	<p>Commercial</p> <p><i>The intent of the Commercial future land use category is to concentrate future commercial uses within the Township Proposed Water/Sewer Boundary and around the highway interchange, for ease of transportation access to and from establishments and to serve a regional customer base. Locating future Commercial development adjacent to the interchange and D-19, the major arterial in Marion Township, will minimize traffic congestion, traffic conflict and traffic hazards and will keep non-residential uses contiguous to the commercial services of the City of Howell. Traffic generated by commercial uses will also benefit from a future paved roadway that will connect D-19 to Peavy Road just south of the interchange.</i></p> <p><i>The Commercial future land use designation encompasses 238 acres of land. The bulk of this land area surrounds the I-96 interchange extending south to Francis Road and west to Peavy Road. It includes land area on both sides of D-19. Another small node of commercial is noted near the southern boundary of the Township, at the northwest corner of the Schafer Road and D-19 intersection where existing commercial is present. Lastly, small commercially designated Township parcels are scattered amongst City of Howell properties along Mason Road and Michigan Avenue. Developmental Densities within the Commercial future land use designation should not exceed 1 building or structure per 1 acre.</i></p> <p><i>The Commercial future land use category corresponds to the HS Highway Service District of the Marion Township Zoning Ordinance.</i></p>
------------------------------------	---

Future Land Use Map



Current Zoning: **HS Highway Service**
The Highway Service District (HS) is intended to accommodate retail business and service activities which serve the particular needs of the highway traveler and/or meet the consumer needs of a more regional population than that of Marion Township, and, therefore, the access to arterial thoroughfares is critical. The intent of this District is to provide for retail businesses, personal, and business service establishments and small warehouses developed along major arterial roads in a fashion that minimizes traffic congestion, traffic conflicts, and traffic hazards. It is not the intent of this District to provide for general retail and related commercial uses that cater more to local consumer needs; such needs are extensively addressed by the commercial services available in nearby City of Howell.

Current Zoning



Items to be Addressed: None.

AREA, WIDTH, HEIGHT, SETBACKS

The proposed building addition must meet the developmental standards of the HS Highway Service district.

A table on Sheet SP-1.1 describes the proposed setbacks and other developmental standards. Setbacks are not dimensioned on the site plan.

The building height, as defined in the Zoning Ordinance, is not noted, but it complies with the district height standards.

Developmental standards for the HS Highway Service district and the proposed developmental standards are outlined below.

HS Highway Service District Developmental Standards

	Required HS	Proposed	Complies
Lot Standards			
Minimum Lot Area	1 acre	~10.0 acres	Yes
Minimum Lot Width	150 feet	~500 feet	Yes
Maximum Lot Coverage	40 percent	~2 percent	Yes
Setbacks			
Front	100 feet (Pinckney)	~123 feet	Yes
Side	25 feet	~31 feet	Yes
Rear	40 feet	~144 feet	Yes
Building Height			
	35 feet	~30 feet	Yes

Items to be Addressed: 1) Setbacks to the proposed addition shall be added to the site plan for administrative review. 2) Lot coverage, as a percentage of the lot area, shall be added to the site plan for administrative review.

ACCESS & CIRCULATION

The site has two access driveways from Pinckney Road to the east and paved vehicular circulation around the site.

The site plan does not call for any changes to the existing access and circulation.

Items to be Addressed: None

PARKING

As noted on Sheet SP-1.1, there are 56 parking spaces on the site, including 3 accessible spaces.

The site plan does not call for any changes to the existing parking areas. Based on calculations on Sheet SP-1.1, there is adequate on-site parking to serve the existing building and the proposed building expansion.

Items to be Addressed: None.

ESSENTIAL SERVICES & UTILITIES

The addition is not likely to require any additional essential services or utilities.

Utility locations are shown on the site plan, but they are not described in a legend.

Because the proposed addition would replace existing concrete sidewalk, there should not be an increase in the volume of stormwater.

We defer additional comments on essential services, utilities, and stormwater management to the Township Engineer.

Items to be Addressed: 1) A legend describing the utilities depicted on the site plan shall be added for administrative review. 2) Utilities and stormwater management approval by the Township Engineer.

LANDSCAPING & SCREENING

The site plan does not call for any additions or removal of any landscaping. The area for the proposed building expansion is currently concrete sidewalk.

Items to be Addressed: None.

LIGHTING

The site plan and building plans do not show any existing exterior lighting or any changes or additions to exterior lighting.

Lighting for commercial uses cannot impair the safe movement of traffic. Lighting for parking areas must be directed down and have a specific color temperature.

It appears that some of the existing lighting on the side of the building may not be consistent with Zoning Ordinance standards.

Items to be Addressed: 1) Applicant shall confirm that there are no changes to exterior lighting, or details for exterior lighting changes shall be added to the site plan. 2) Any existing lighting that does not comply with the Zoning Ordinance shall be removed or replaced.

SIGNAGE

There is an existing freestanding sign on the eastern side of the site, along Pinckney Road, and several wall-signs.

The site plan does not propose changes to the freestanding sign.

It appears that the site plan shows changes to existing wall signs or installation of new wall signs. The site plan does not contain enough information to determine if these wall signs are consistent with the standards of Article XV Signage. Signs can be reviewed for compliance as part of sign permit review by the zoning administrator.

Items to be Addressed: *A note shall be added to the site plan that signs are subject to the standards of Article XV Signage and require review and approval by the zoning administrator.*

SITE PLAN REVIEW CRITERIA

Information required for preliminary site plans is outlined in §18.3(B) Information Required, and information required for final site plans is outlined in §18.4(B) Information Required.

The site plan does not include all of the required information, but the proposed addition is relatively limited and most of the missing information does not appear to impact the ability to review the site plan and determine compliance with the Zoning Ordinance.

Although described in a table on Sheet SP-1.1, the setbacks for the proposed addition are not dimensioned on the site plan. The site plan does not show the location of easements, including the road right-of-way.

Final site plan review criteria are outlined in §18.4(C) Standards for Review.

If the site plan is amended as noted in this report and those of other reviewing entities, it appears likely that the application and site would be consistent with the standards for review.

Items to be Addressed: *1) Planning Commission determination if additional information needs to be added to the site plan. 2) Planning Commission determination that the site plan is consistent with the review criteria in §18.4(C) Standards for Review. 3) Setbacks to the proposed addition shall be added to the site plan for administrative review. 4) Easements shall be added to the site plan for administrative review.*

Dunkin' Kitchen Expansion

Preliminary and Final Site Plan Review

May 6, 2022

SUMMARY

The preliminary and final site plan and application appear to be generally complete, except as otherwise noted in this report.

The Planning Commission could make a favorable recommendation, with or without conditions, if it determines the standards for review and developmental standards are met or would be met with conditions.

The Planning Commission could postpone action if it determines missing information is necessary for its review or there are significant or too many changes or conditions that would be necessary to make a recommendation at this time. If this is the case, it should direct the applicant to prepare revisions based on its review and provide guidance as to what additional information or changes would be necessary.

The Planning Commission could make an unfavorable recommendation if it determines standards for review and developmental standards are not met or could not easily be met with changes or conditions.

Following the Planning Commission's review and recommendation, the site plan is forwarded to the Township Board, which has the authority to approve, approve with conditions, or deny site plans.

Planning Commission Decisions/Determinations/Findings

The list below includes items that require Planning Commission decision, determination, or finding.

1. *Planning Commission determination if additional information needs to be added to the site plan.*
2. *Planning Commission determination that the site plan is consistent with the review criteria in §18.4(C) Standards for Review.*

Potential Conditions

The list below includes potential conditions for the Planning Commission to consider. Additional potential conditions could also be identified at the Planning Commission meeting.

1. *A legend describing the utilities depicted on the site plan shall be added for administrative review.*
2. *Utilities and stormwater management approval by the Township Engineer.*
3. *Applicant shall confirm that there are no changes to exterior lighting, or details for exterior lighting changes shall be added to the site plan.*

Dunkin' Kitchen Expansion

Preliminary and Final Site Plan Review

May 6, 2022

4. *Any existing lighting that does not comply with the Zoning Ordinance shall be removed or replaced.*
5. *A note shall be added to the site plan that signs are subject to the standards of Article XV Signage and require review and approval by the zoning administrator.*
6. *Setbacks to the proposed addition shall be added to the site plan for administrative review.*
7. *Easements shall be added to the site plan for administrative review.*
8. *Lot coverage, as a percentage of the lot area, shall be added to the site plan for administrative review.*
9. *Review and approval by the Howell Area Fire Department and applicable Livingston County agencies.*



CARLISLE/WORTMAN ASSOC., INC.

Zach Michels, AICP

Planner



April 25, 2022

Dave Hamann, Zoning Administrator
Marion Township
2877 W. Coon Lake Road
Howell, MI 48843

RE: Mugg & Bopps Gas Station
Site Plan Review

Dear Mr. Hamann,

We have received and reviewed the site plan for the addition to Mugg and Bopps Gas Station located at 1648 Pinckney Road. The plans were prepared by F. Matthew Ray Architect on behalf of Marion-D19, LLC and are dated April 5, 2022. We offer the following comments:

General

The existing site is gas station. The plan proposes a 252 square foot addition to the existing building. The site is zoned Highway Service and is surrounded by Highway Service on all sides. The proposed will remain the same and is consistent with zoning.

The lot is 10 acres which is greater than the 1.0 acre minimum lot size. The frontage is 500.4 feet with is greater than the 150 feet minimum. All the proposed setbacks are listed correctly on the plans and are shown correctly on the plans.

The legal description is shown on the site plan and closes within acceptable limits.

The plans are sealed and signed by a professional engineer.

Water Service

There are no proposed changes to the water service. We offer no further comment on the water service.

Sanitary Service

There are not proposed changes to the sanitary service. We offer no further comment on the sanitary service.

Stormwater and Grading

There are no proposed changes to grading or stormwater system. The area where the addition is proposed was previously paved so there will be no changes to impervious area, so no changes to the stormwater system are needed. We offer no further comment on the stormwater and grading plans.

Pavement, Landscaping, and Lighting

There are not proposed changes to pavement, landscaping, or lighting on the site. We offer no further comment on these items.

April 25, 2022
2 of 2

Recommendation

After careful review of the site plan, we feel that these plans meet the requirements of the Zoning Ordinance including those conditions noted by the Planning Commission and are ready for Township Board approval.

If you have any questions or need anything further, please feel free to contact our office.

Sincerely,



Elsie Jorgensen
Design Engineer
Phone: (269) 252-6100
Mailto: elsie.jorgensen@spicergroup.com



Philip A. Westmoreland, P.E.
Sr. Project Manager
Phone: (517) 375-9449
Mailto: philaw@spicergroup.com

SPICER GROUP, INC.
125 Helle Dr, Suite 2
Dundee, MI 48131

CC: SGI File

DO NOT SCALE DRAWINGS

2017 SHAMBLE LANE
WATERBURY
VERMONT
05671-0000
TEL: 802-249-1000
WWW.MATTHEW
RAY-ARCHITECT
ARCHITECT

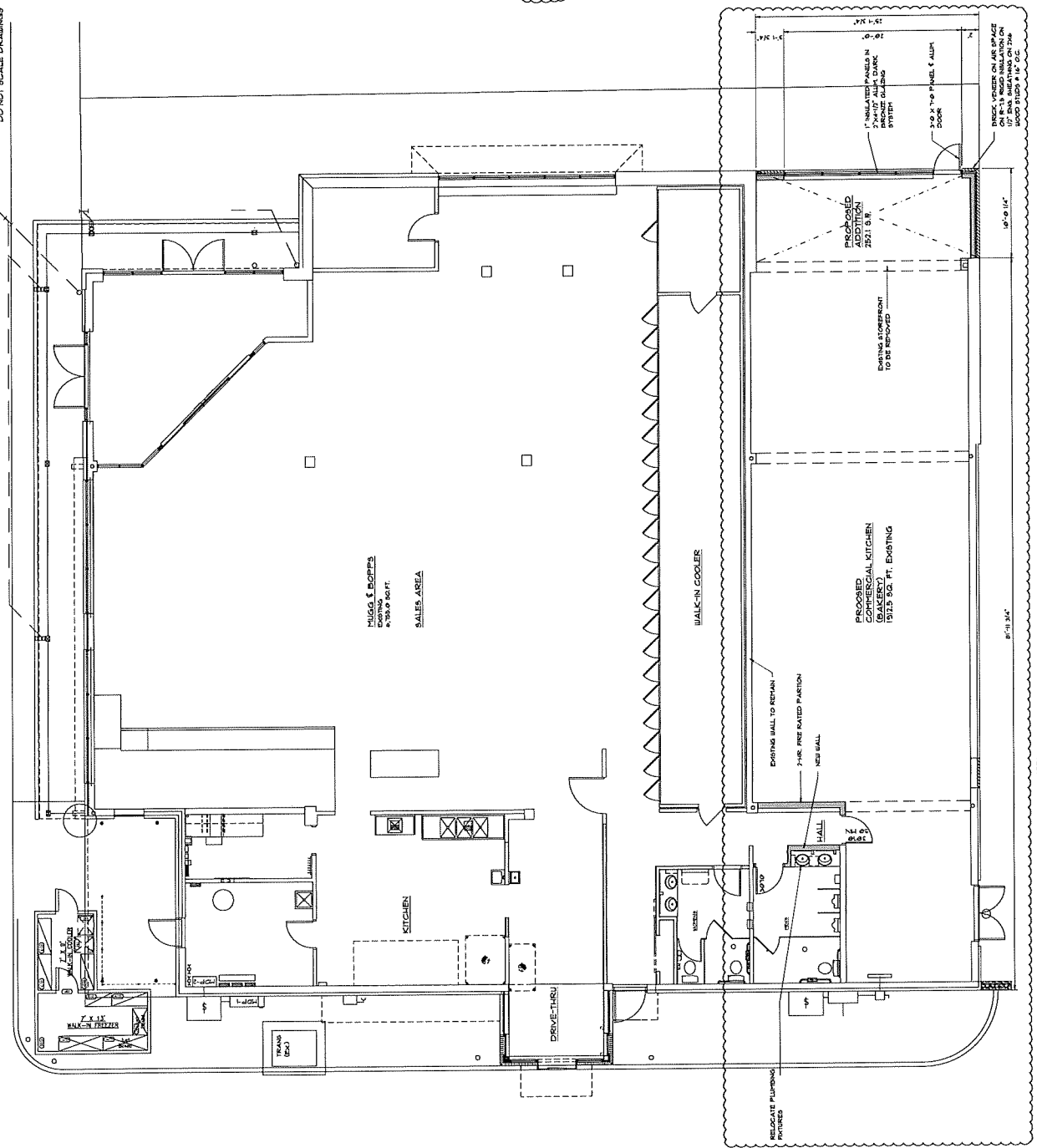
CLIENT:
MARIO SPILLIC
100 BUCKINGHAM
ROAD
MOUNTAIN VIEW
VICTORIA, BC
V8M 1Y1
TEL: 250-733-3139

PROJECT:
PROPOSED
DUNKIN'
BAKERY
TENANT
IMPROVEMENTS
1040 BUNKER ROAD
MOUNTAIN VIEW, VT

ISSUED DATE:
SITE PLAN REVIEW
04-09-2022



CHECKED BY: JRR
DRAWN BY: JRR
DATE: 04/09/2022
PROJECT NO.:
1133B
TITLE: BAKERY FLOOR
PLAN
SHEET NO.:
A-3.1



NORTH

AREA:
DUNKIN' KITCHEN 244.0 SQ. FT.
TOTAL 251.9 SQ. FT.

FLOOR PLAN
SCALE: 3/8" = 1'-0"

FLOOR PLAN GENERAL NOTES

1. INTERIOR PARTITIONS ARE FINISH FACE OF STUD TO FACE OF STUD OR FACE OF STUD TO FACE OF EXISTING GYPSUM BOARD.
2. EXTERIOR PARTITIONS ARE FINISH FACE OF BRICK TO FACE OF BRICK OR FACE OF BRICK TO CENTERLINE OF CURB.
3. WALL FINISH SHALL BE 5/8" ON INSIDE OR EXISTING GYPSUM BOARD FROM SLAB TO CEILING (0-51 A.F.P.).
4. EXTERIOR WALLS EXPOSED WOODS SHALL BE FINISHED WITH 1/2" OSB OR 24 INCHES HORIZONTALLY BEYOND WOOD.
5. PATCH AND REPAIR ANY EXISTING DAMAGED OR BROKEN GYPSUM BOARD. CONSTRUCTION SHALL BE SPACKLED AND READY FOR PAINT, FINISH EXISTING CONSTRUCTION.
6. NEW PARTITIONS SHALL BE PROVIDED WITH 1/2" PLYWOOD SUBSTRATE UNDER GYPSUM BOARD.
7. PROVIDE A THRESHOLD OF 3 PINE BATHINGERS ONE BY EACH EXIT DOOR AND ONE IN OTHER AREA AND AS DIRECTED BY FIRE DEPARTMENT.
8. DOOR AND WINDOW THRESHOLDS SHALL BE ALL EXPOSED OUTSIDE CORNER, FINISH OF THE DOOR IS 3/4" X 1/2" X 1/2".



Carlisle | Wortman
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

MEMORANDUM

TO: Marion Township Planning Commission

FROM: John L. Enos, AICP, Township Planner

DATE: May 13, 2022

SUBJECT: Marion Oaks Clubhouse

We have reviewed the proposed development of the Marion Oaks clubhouse. The project is part of the recreational amenities as agreed upon as part of the legal settlement between the Township and developer. The project also includes ball diamonds and soccer fields. We note the following:

1. The project consists of a clubhouse, pool, outdoor seating, parking and significant landscaping.
2. The engineer will be required to review for public water and sewer connections.
3. Landscaping should all be irrigated.
4. No dumpster or enclosure is proposed or shown.
5. While the HOA will be responsible for annual plantings, several trees and bushes are proposed. Once planted the HAO will be responsible long-term care and maintenance through a landscape company.
6. No building elevations are provided.
7. We question whether the clubhouse will be used for events such as weddings. If used in this manner as a revenue source by the HOA, we are not sure this is permitted as part of the consent judgment.
8. No lighting is proposed, we suggest all wall pack be down shielded.
9. No pool fencing as it is required by code is shown on the plan.

10. No parking calculations are shown however a significant number of spaces are shown. No dimensions of spaces are provided. Dependent upon use of other recreational uses adjacent parking could become a problem.
11. No signage is provided, we do not expect any except for a wall sign.
12. We question whether there is a trail plan considered providing access to the adjacent recreational fields?
13. No evergreen species are proposed to be planted we suggestion they reconsider in order to provide some vertical "green" during the winter months.

While the plan is not what we would expect under typical site plan review standards due to this being a settlement agreement we would recommend approval of the plan with at least a reasonable response to the comments noted in this review.





May 3, 2022

Dave Hamann, Zoning Administrator
Marion Township
2877 W. Coon Lake Road
Howell, MI 48843

RE: Marion Oak Clubhouse
Site Plan Review

Dear Mr. Hamann,

We have received and reviewed the site plan for the clubhouse within the Marion Oak Planned Unit Development. The plans were prepared by Boss Engineering on behalf of Marion Oaks Development, LLC and are dated April 14, 2022. We offer the following comments:

General

The existing site is a part of the Marion Oaks PUD located at the corner of Wright Road and Pinckney Road. The plan proposes a clubhouse and pool located within the PUD. The associated parking lot has already been constructed.

No legal description is provided. A legal description was previously provided when the entire PUD was reviewed.

Stormwater and Grading

Grading was previously reviewed and completed when the rest of the Marion Oaks development was being built. No grading work is proposed. A roof drain is proposed to outlet to the detention basin to the north of the clubhouse. No storm calculations were provided, however the increase in impervious area was previously accounted for in the development of the whole site.

Pavement, Landscaping, and Lighting

The parking lot for the clubhouse is existing and there are no proposed changes to the parking lot. A sidewalk is proposed along the front of the building to connect to the rest of the development. A cross section of the sidewalk should be provided.

Landscaping is proposed around the building and does not appear to be located over any utilities. We defer to the Township Planner for further comment.

No lighting is proposed in the parking lot or on the building. We defer to the Township Planner for further comment on the lighting plan.

May 3, 2022
2 of 2

Recommendation

Should the Planning Commission decide to proceed with approval of this project, we recommend the following conditions be placed on the approval:

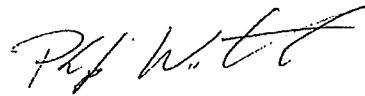
1. Plans should be reviewed and approved by:
 - a. Township Planner

If you have any questions or need anything further, please feel free to contact our office.

Sincerely,



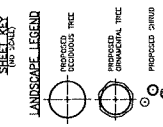
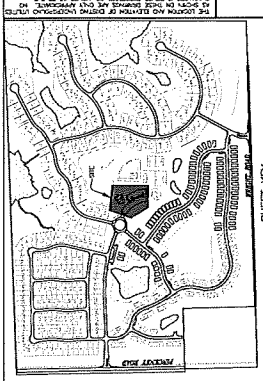
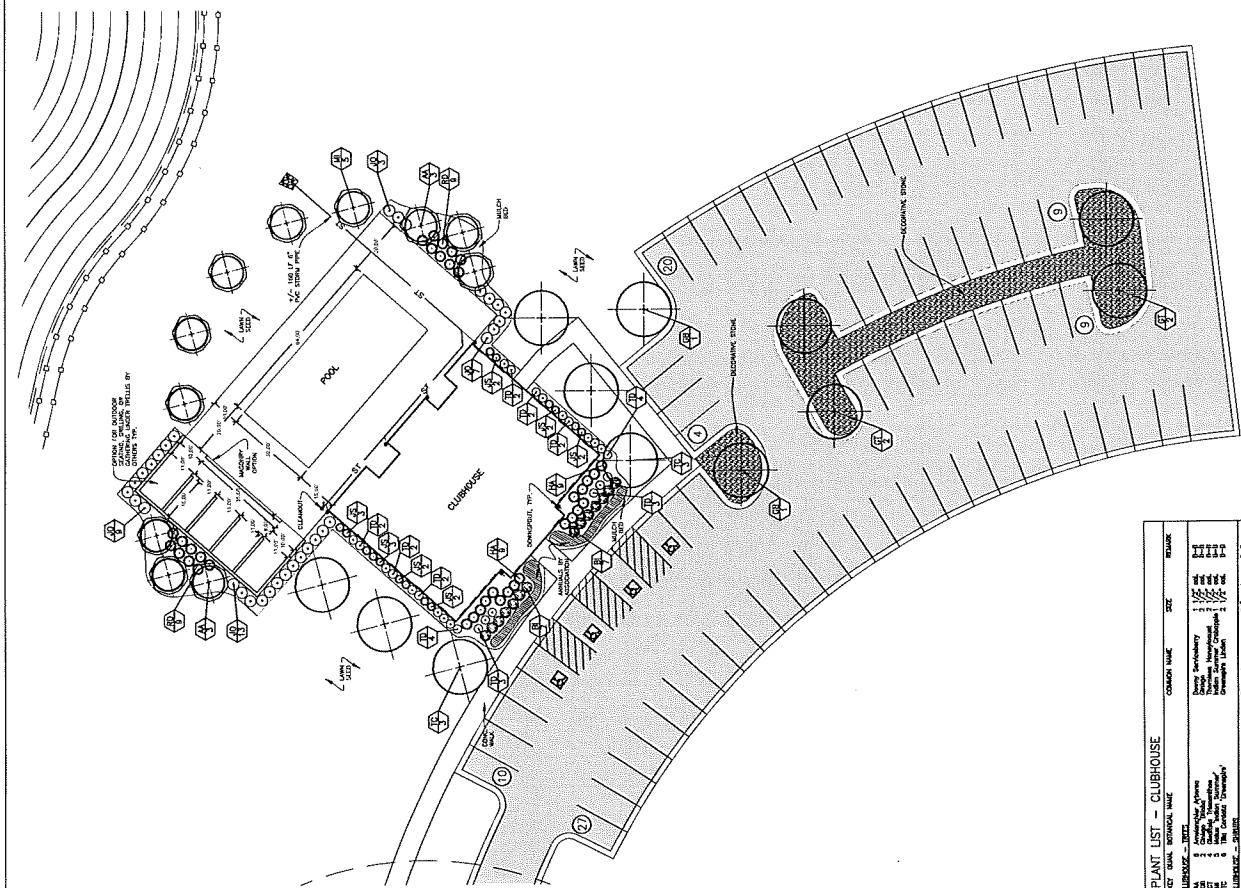
Elsie Jorgensen
Design Engineer
Phone: (269) 252-6100
Mailto: elsie.jorgensen@spicergroup.com



Philip A. Westmoreland, P.E.
Sr. Project Manager
Phone: (517) 375-9449
Mailto: philaw@spicergroup.com

SPICER GROUP, INC.
125 Helle Dr, Suite 2
Dundee, MI 48131

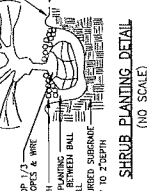
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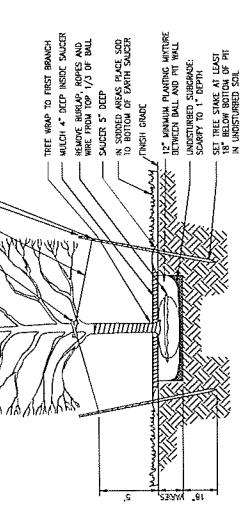
GENERAL LANDSCAPE SPECIFICATIONS:

1. ALL PLANT MATERIAL SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS SET FORTH IN THE SPECIFICATIONS AND THE LANDSCAPE PLAN AND PLOT PLAN. PLANT MATERIAL SHALL BE SUPPLIED BY THE CONTRACTOR AND SHALL BE DELIVERED TO THE SITE IN A CONDITION TO BE PLANTED IMMEDIATELY. PLANT MATERIAL SHALL BE STORED IN A PROTECTED AREA TO PREVENT DAMAGE FROM THE ELEMENTS AND SHALL BE PROTECTED FROM THE ELEMENTS BY COVERING WITH A PROTECTIVE MATERIAL. PLANT MATERIAL SHALL BE STORED IN A PROTECTED AREA TO PREVENT DAMAGE FROM THE ELEMENTS AND SHALL BE PROTECTED FROM THE ELEMENTS BY COVERING WITH A PROTECTIVE MATERIAL.
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REMOVE TOP 1/3
BURNED TOPS & WIRE
5" DIA. PLANTING BALL
UNDISTURBED SUBGRADE
SCAPED TO 2" DEPTH



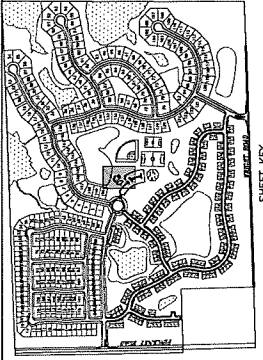
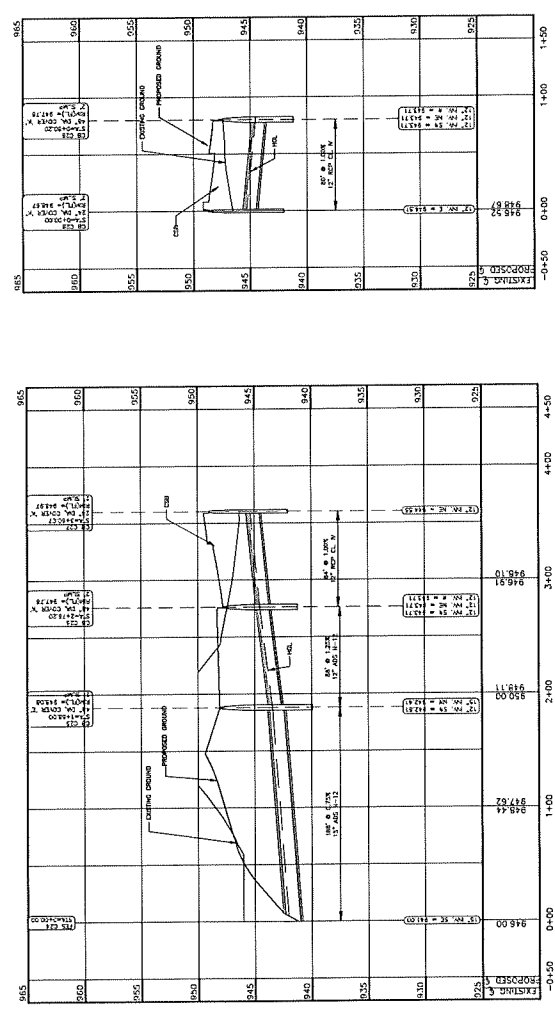
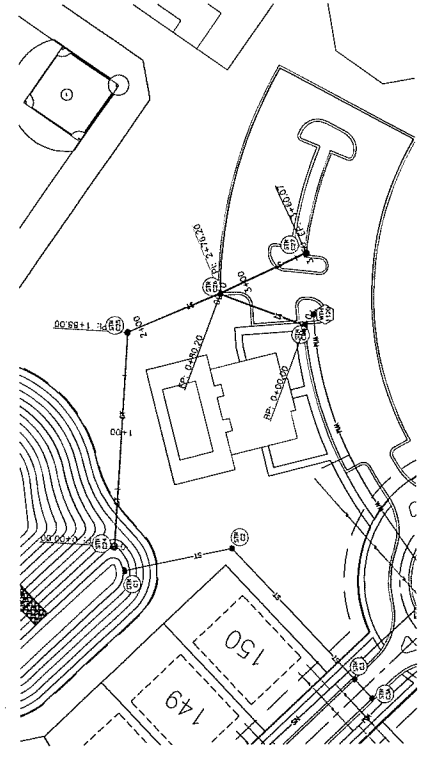
NEVER CUT THE LEADER
RUBBER HOSE POSITIONED DIRECTLY
AGAINST THE TREE BRANCH
AND - 1/2 GAUGE
TWISTED WIRE
PULL WIRE THROUGH HOLE AND
AROUND STAKE BEFORE TIEING
BEFORE TIEING PLANTING MATERIAL
& METAL CONTAINERS. RUBBER HOSE
IN FEET POST TO PREVENT DAMAGE



PLANT LIST - CLUBHOUSE

REF	QUANTITY	COMMON NAME	SIZE	REMARKS
1	1	DOGWOOD	12"	
2	1	DOGWOOD	12"	
3	1	DOGWOOD	12"	
4	1	DOGWOOD	12"	
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BASIN 'C' - OFF-ROAD STORM PROFILE



NOTES:

1. THIS PLAN IS IN ACCORDANCE WITH THE REQUIREMENTS OF MICHIGAN LAW ENFORCEMENT CODE, SECTION 111.01, AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION, SECTION 111.01.
2. THE DESIGNER HAS CONDUCTED VISUAL INSPECTIONS OF THE SITE AND HAS FOUND THE EXISTING CONDITIONS TO BE AS SHOWN ON THIS PLAN.
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BE
 ENGINEERING
 2121 E. GRAND AVENUE
 HOVELL, MI 48843
 800.248.8735 FAX 517.548.1670

BOSS
 Engineering
 2121 E. GRAND AVENUE
 HOVELL, MI 48843
 800.248.8735 FAX 517.548.1670

MARION OAKS DEVELOPMENT, LLC
 248-637-1824
 1825 KROGER DRIVE
 FENTON, MI 48116

BASIN 'C' - OFF-ROAD STORM PROFILE

NO. BT	PERSON FOR	DATE
1	DESIGNED BY	8-11-18
2	CHECKED BY	
3	DATE	
4	SCALE	1" = 10'
5	SHEET NO.	17 OF 20
6	SHEET TOTAL	27 OF 27

8
 SHEET NO. 17 OF 20
 27 OF 27

