

**MARION TOWNSHIP PLANNING COMMISSION
AGENDA**

REGULAR MEETING

April 30, 2024

7:30 PM

Virtual access instructions to participate in the meeting are posted on www.mariontownship.com

MEETING WILL BE HELD IN MAIN HALL

Call to Order:

Pledge of Allegiance:

Introduction of Members:

Approval of Agenda for: April 30, 2024 Regular Meeting

Approval of Minutes from: March 26, 2024 Regular Meeting

Call for Public Comment:

Public Hearing:

New Business:

- 1) SPR#01-24 Schroeder Parking Expansion

Unfinished Business:

- 1) SUP #01-24 Smith Home Based Business (revised application)

Special Orders:

Announcements:

Call for Public Comment:

Adjournment:

**MARION TOWNSHIP
PLANNING COMMISSION
REGULAR MEETING
MARCH 26, 2024 / 7:30PM**

PC MEMBERS PRESENT: LARRY GRUNN – *CHAIRPERSON*
JIM ANDERSON – *VICE-CHAIRPERSON*
CHERYL RANGE – *SECRETARY*
BOB HANVEY
BRUCE POWELSON

PC MEMBERS ABSENT: NONE

OTHERS PRESENT: DAVID HAMANN – *MARION TWP. ZONING ADMINISTRATOR*
ZACH MICHELS – *TOWNSHIP PLANNER*
JOHN GORMLEY – *TOWNSHIP ATTORNEY*

CALL TO ORDER

Larry Grunn called the meeting to order at 7:30 pm.

APPROVAL OF AGENDA

Jim Anderson made a motion to approve the March 26, 2024 agenda as amended. Cheryl Range seconded. **5-0 MOTION CARRIED**

APPROVAL OF MINUTES

Jim Anderson made a motion to approve the February 13, 2024 Planning Commission minutes as amended. Cheryl Range seconded. **5-0 MOTION CARRIED**

CALL FOR PUBLIC COMMENT

Zach Esper spoke on behalf of Tim and Cathy Esper. Esper inquired about the property near Hometown off Peavy Road that they used to farm back in 2019.

Bob Hanvey stated that there are still ongoing issues with that property and the Township will reach out to the Esper's once the issues are resolved.

UNFINISHED BUSINESS:

SUP# 01-24 CHRISTOPHER SMITH SECTION 17.32 HOME BASED BUSINESS

Christopher Smith explained that Boss Engineering created an updated site plan for review. Chris stated that they recently purchased a \$60k hydro trailer in the event of a spill.

Jim Anderson asked for some details on the containment improvements.

Chris explained that the containers used to store fuel are dual mined containers from Corrigan and they are made of steel. Chris said that Corrigan monitors the fuel tank and delivers fuel accordingly.

Jim Anderson said that the volume numbers listed throughout the site plan need to be consistent. Chris stated that he would correct that.

DRAFT

Jim asked about fire extinguishers and employee training.

Chris said there are fire extinguishers on site and that he is willing to put together some training for employees. Chris also said that he will create a step-by-step emergency manual for employees to follow, in the event of a spill.

Jim Anderson suggested including various possible scenarios and solutions to include in the manual.

Larry Grunn inquired about the PIP checklist and asked if the checklist had been verified by any outside agencies.

Chris explained that he got the list from the State and personally went through each item on the checklist.

Chris stated apologized for originally missing some of the information and explained that there were some things he was simply unaware of. However, he is willing to make any necessary improvements or changes that would make everyone feel more at ease.

Larry Grunn inquired about the hours of operation.

Chris explained that there may be times when he has to load his truck with salt in the middle of the night. He also stated that since he lives there, he should be allowed to do things around his property regardless of the time of day. Chris promised to be as quiet as possible after hours to avoid disturbing his neighbors.

Sara Smith stated they feel like no matter what they do, they feel like they are getting torn apart by everyone.

Cheryl Range stated that she spoke with Heather Blair from the Health Department and she has concerns about the dirt pile that was moved.

Zach Michels went through his review of the Special User Permit request.

Armayne Lyons resides at 2588 Sexton Road. Armayne did not understand how Chris Smith was allowed to install new tanks on his property without permission.

Derek Lyons resides at 2588 Sexton Road. Derek explained that he spoke to the EGLE and they stated that there should be a curb around the salt bin. Derek also stated that Chris did not get a land use permit from the Township to clear the trees. Derek said he has seen trucks getting loaded as early as 5am and there is currently equipment that belongs to Chris on the neighbor's property. Derek asked if the Fire Department has conducted any type of review of the business.

Patricia Friedline resides at 2606 Sexton Road. Patricia would like to see more screening on the northwest corner and would like the brush removed from her property.

Jim Paulson resides at 2745 Sexton Road. Jim wanted to know why Chris moved from his original location and does not want him to operate his business on his current property.

Dianne Paulson resides at 2745 Sexton Road. Dianne does not understand why he is allowed to operate a business and stated that she hears people on Chris's property talking loudly.

Sara Smith stated that this site plan was a proposal, not something written in stone. Her and Chris were open to have a discussion and willing to make any necessary changes to ensure everyone is satisfied. She stated that Chris has gone above and beyond in hopes to gain the Planning Commission's approval and there always seems to be new concerns or suggestions at each meeting.

Cheryl Range said that she disagrees with this business and believes it conflicts with many parts of our Master Plan.

Bruce Powelson does not believe this business is harmonious.

DRAFT

John Gormley suggested that the Planning Commission choose 1-2 Commissioners to work with himself and Zach to craft a proper resolution one way or the other.

Jim Anderson stated that this appears to be a full-blown business and seems to be getting bigger. Jim agrees with Bruce Powelson and does not think this is the best location for this type of business.

Jim Anderson made a motion to table discussion on this matter until after a proper resolution is drafted with Zach Michels and John Gormley. Bruce Powelson seconded. **5-0 MOTION CARRIED**

The Planning Commissioners decided to have Jim Anderson and Cheryl Range work with Zach and Gormley on drafting a resolution.

Larry Grunn made a motion to extend the Planning Commission meeting. Jim Anderson seconded. **5-0 MOTION CARRIED**

UNFINISHED BUSINESS

TXT# 02-23 WELLHEAD PROTECTION LCPD COMMENTS (FINAL TO BOT)

Zach Michels reviewed the Marion Township Overlay District Ordinance.

Bruce Powelson made a motion to recommend approval of TXT# 02-23 WELLHEAD PROTECTION ORDINANCE to the Board of Trustees. Jim Anderson seconded. **5-0 MOTION CARRIED**

UNFINISHED BUSINESS

PROPOSED REVISIONS TO SIGN SECTION

Zach Michels reviewed the zoning Text amendment related to Signs in the Township. Commissioners talked about different types of signs.

Zach explained that the language could be drafted exempting schools, government offices, first responder organizations and cemeteries from the sign regulations.

UNFINISHED BUSINESS

CONSTITUTE DISCUSSION OF AFFORDABLE HOUSING PROJECT

Bob Harvey stated that it seems like Larry Grunn does not like anything related to affordable housing. Bob suggested that we keep working about this.

SPECIAL ORDERS

None.

ANNOUNCEMENTS

Cheryl Range, Jim Anderson and Bob Harvey attended a Solar Energy seminar on 03/19/2024.

Zach Michels stated that there is currently legislation that would allow "Short Term Rentals" per the State.

CALL FOR PUBLIC COMMENT

None.

ADJOURNMENT:

Larry Grunn made a motion to adjourn the Planning Commission meeting at 10:10pm. Cheryl Range seconded. **5-0 MOTION CARRIED**

MINUTES TAKEN BY: Jessica S. Timberlake

Special Use Permit Review for Marion Township Planning Commission

INTRODUCTION

Petition Number	SUP 01-24 Smith
Applicant	Christopher Smith
Request	Special use permit for a lawn and landscaping home-based business
Location	Northeastern corner of Sexton and Sexton, between Ridgewood and Jewell
Parcel Number	10-16-200-019

PETITION SUMMARY

The applicant is requesting special use permit approval for a home-based business. The proposed use is a seasonal lawn and landscaping and snow removal business. Home-based businesses require special use permit approval in Rural Residential (RR) zoning districts.

Special use permit applications usually also require site plan review and approval. Home-based businesses may provide a less-formal site plan that shows: basic parcel information; existing and proposed structures; driveway, parking, and storage areas; proposed landscaping; and details of proposed additions or modifications. The Planning Commission and Township Board may require additional information during review.

A revised site plan, prepared by Boss Engineering, has been submitted. It shows the location of the hoop ban for salt storage and improved surfaces.

PROPERTY INFORMATION

Address	2718 Sexton
Location	Northeastern corner of Sexton and Sexton, between Ridgewood and Jewell
Parcel Numbers	10-16-200-019
Lot Area	4.52 acres (<i>gross, includes right-of-way</i>)
Parcel Number	10-16-200-019
Frontage	~640 feet (<i>including southern and western front lot lines</i>)
Current Zoning	Rural Residential (RR)
Existing Uses	Single-family dwelling

SPECIFIC USE STANDARDS

Specific standards for home-based businesses are outlined in §17.32 Home-based Businesses.

Home-based businesses are more intensive than home occupations and are recognized as an occupation, business, commercial activity, company, or profession conducted by family members living on the property. Home-based businesses may have non-resident employees, may store equipment or materials in a screened area, or have vehicles dedicated to the activity.

There are 16 site standards for home-based business, outlined in §17.32 Site Requirements (A-P). Those standards that have not been demonstrated as being met to the Planning Commission's satisfaction are examined below.

The nature and intensity of the proposed use would alter the essential character of the premises, especially yard areas used for storage of equipment and materials that are not adequately screened from adjacent residential properties or public streets.

Loading of equipment, repair of large equipment, and loading of materials would take place outdoors, sometimes beyond the hours of operation for a home-based business.

The proposed storage of more than 20 tons of salt in a structure without curbing does not appear to be consistent with Part 5 Rules. If the salt is not adequately contained, it could contaminate stormwater runoff.

The nature of the equipment and processes used on the site are likely to create noise, vibration, glare, fumes, or odors.

The proposed home-based business would be conducted in a manner that is likely to create a nuisance or annoyance to residents on the adjoining properties because of noise, smoke, odor, or lighting.

It appears likely that the proposed home-based business would have more than 1 non-resident employee, which is more than allowed for a home-based business on a property of this size.

The outdoor storage of equipment and materials would not be adequately screened from adjoining properties and streets.

The applicant stated he would conduct outdoor operations in the nighttime hours, if necessary to support the business.

The nature of traffic to the site, including trucks for delivery of more than 20 tons of salt and motor fuel, is likely to interfere with the use and enjoyment of nearby properties and/or undermine the intended character of the area.

DECISION CONSIDERATIONS

The special use permit process is outlined in Article XVI Special Use Permits.

Unlike other special use permit applications, home-based businesses do not require full site plans.

The Planning Commission reviews special use permits at a public hearing and makes a recommendation to the Township Board, which makes the final decision.

In order to approve a special use permit, all of the bases of determination must be found to be true. These bases are defined in §16.05 Basis of Determination and are explored below.

Based on information provided in the application, through research, and at public meetings, the Planning Commission was not satisfied that all of the bases of consideration for granting a special use permit were satisfied.

These bases are examined in the draft resolution.

Additional information may be discovered or provided at the Planning Commission meeting.

PETITION TIMELINE

The application was submitted to the Township on January 22, 2024.

The Planning Commission held a public hearing at its February 13, 2024, meeting, and postponed action for the applicant to provide additional information.

Revised application materials, including narrative and site plan, were submitted on March 19, 2024. A revised site plan was submitted on March 26, 2024.

The Planning Commission considered the special use permit at its March 26, 2024, meeting and, upon receiving affirmative evidence that all of the applicable criteria would be satisfied, appointed 2 members to prepare a draft resolution with the assistance of the Township attorney and planner, with action to take place at its April meeting.

The application will be considered by the Planning Commission at its April 30, 2024, meeting.

Following a recommendation from the Planning Commission, the application will be forwarded to the Township Board for final action.

SUMMARY

The Planning Commission should review the draft resolution that was prepared for its consideration and make any necessary changes to ensure it is consistent with its findings.

For special use permits, the Planning Commission provides a recommendation to the Township Board. The Township Board is the deciding authority.

SUP 01-24 Smith
Home-based Business- Lawn and Landscape
April 22, 2024

We look forward to helping facilitate this process at the meeting.

Zach Michels
Quality Zoning
Dexter, MI

SPR#01-24

MARION TOWNSHIP APPLICATION FOR SITE PLAN REVIEW

Date: 2-27-24
 Parcel I.D. Number: 4710-01-300-023

Property Owner(s) Name (Print or Type):
ARMSTRONG PROPERTY HOLDING
 Mailing Address (Print or Type):
MATTHEW SCHROEDER
50 Schroeder Park DR Howell
 City, State, ZIP (Print or Type): 48843
810-923-9639
 Phone (Print or Type):

Applicant(s) Name (Print or Type):
 Mailing Address (Print or Type):
 City, State, ZIP (Print or Type):
 Phone (Print or Type):

Name of Proposed Development: PARKING LIGHTING STORM RETENTION
 Location of Proposed Development (address): FRANCIS - D-19 CORNER
 N E S W Side of _____ Road between _____
 _____ and _____ Roads

- The property owner(s) must sign this application. In lieu of the owner(s) signature on this application, the owner may provide a letter authorizing the applicant to act on his / her behalf. This application will not be processed until authorized by the property owner and/or the authorized applicant.

Brief Description of the Proposed Development and/ or Project (Land Use): PARKING OVERFLOW AND LIGHTING DRAINAGE

I hereby grant permission for members of the Planning Commission, Zoning Administrator or their appointed designee to enter the above-described property for the purpose of gathering information related to this application.
 Owner(s) of Record Signature: Math Schroeder
 Applicant(s) Signature (if other than owner): _____
 Date: _____

Date Received: _____ Received By: _____ Application Fee: _____

PRELIMINARY SITE PLAN REVIEW

AGENCY REVIEWS AND COMMENTS FROM:

County Road Commission: Yes ___ No ___ County Health Department: Yes ___ No ___

County Drain Commissioner: Yes ___ No ___ Fire Department: Yes ___ No ___ Other Agencies: Yes ___ No ___

Township Attorney: Yes ___ No ___ Township Engineer: Yes ___ No ___ Township Planner: Yes ___ No ___

APPROVED

APPROVED WITH CONDITIONS

DENIED

Date: _____

Date: _____

Date: _____

Date Received: _____ Received By: _____ Application Fee: _____

FINAL SITE PLAN REVIEW

AGENCY REVIEWS AND COMMENTS FROM:

County Road Commission: Yes ___ No ___ County Health Department: Yes ___ No ___

County Drain Commissioner: Yes ___ No ___ Fire Department: Yes ___ No ___ Other Agencies: Yes ___ No ___

Township Attorney: Yes ___ No ___ Township Engineer: Yes ___ No ___ Township Planner: Yes ___ No ___

APPROVED

APPROVED WITH CONDITIONS

DENIED

Date: _____

Date: _____

Date: _____

Date Received: _____ Received By: _____ Application Fee: _____

CONSTRUCTION PLAN REVIEW

Township Engineer: Yes ___ No ___

Other reviewers: _____

Pre-Construction Meeting: _____

APPROVED

Date: _____

AS BUILTS Submitted for Township File Date: _____ Reviewed by: _____



LIVINGSTON ENGINEERING

3300 S. Old US 23 – Brighton, MI 48114 – 810-225-7100

Memorandum

TO: Dave Hamann, Marion Township Zoning Administrator

FROM: David LeClair, Livingston Engineering

DATE: April 15, 2024

SUBJECT: Schroeder's Body Shop Amended Site Plan

Dave,

Pursuant to our meeting on April 10th, please find eight sets of amended plans for the aforementioned project. Based on our meeting, the following minor changes were made to the drawings:

1. On sheet 2.0, the adjacent zoning has been added to the parcels east of the subject property. Another note was added denoting the wetland delineation for the county drain.
2. On sheet 3.0, a fire truck turning template was added to the overflow parking area and the parking areas were identified.
3. On sheet 5.0, a swale along the front parking area has been added to direct drainage from this parking area into the new detention pond.

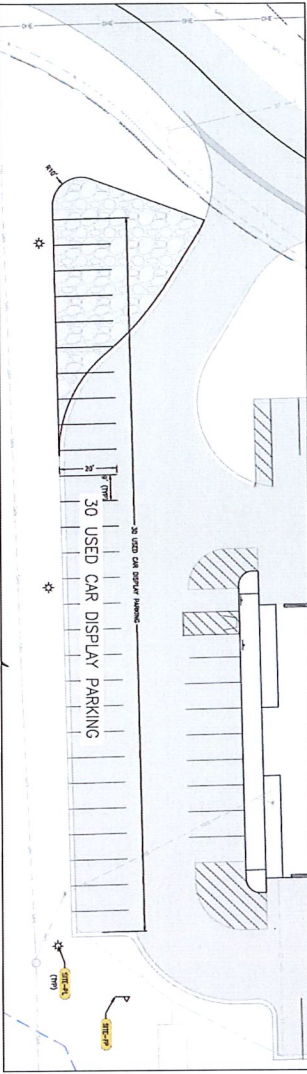
Additionally, in accordance with our meeting, please consider the following information regarding the plan submittal:

1. Mr Schroeder or an entity under his control owns both the existing body shop parcel and the southerly overflow parking parcel.
2. No outdoor material storage is included as part of the amended site plan on the subject additional parcel.
3. The overflow parking occurs on the adjacent parcel where no repair work is being done and as such it is our understanding based on our conversation that a Special Use Permit is not required.
4. Based on our conversation, it is our understanding that the proposed gravel overflow parking is allowed as proposed.
5. No additional signage is proposed at this time. A sign permit application will be submitted at a later date for approval if the site warrants such.
6. A lighting plan is included as part of the site plan set that shows the added light poles with their photometric output. Not included in this plan are the low level solar lights for the front parking area which provides only low light levels.
7. The landscape plan along the south property indicates in addition to the added pine trees an existing berm that will remain in place to provide the additional required screening. Additional landscaping along D19 was not added due to the existing utility easements in this area. This is consistent with the existing body shop and is our understanding that the Planning Commission can recommend such to the Township Board.

Given the minor nature of the above referenced plan changes/clarifications, we trust that this project can proceed to the Planning Commission at its April 25th meeting.

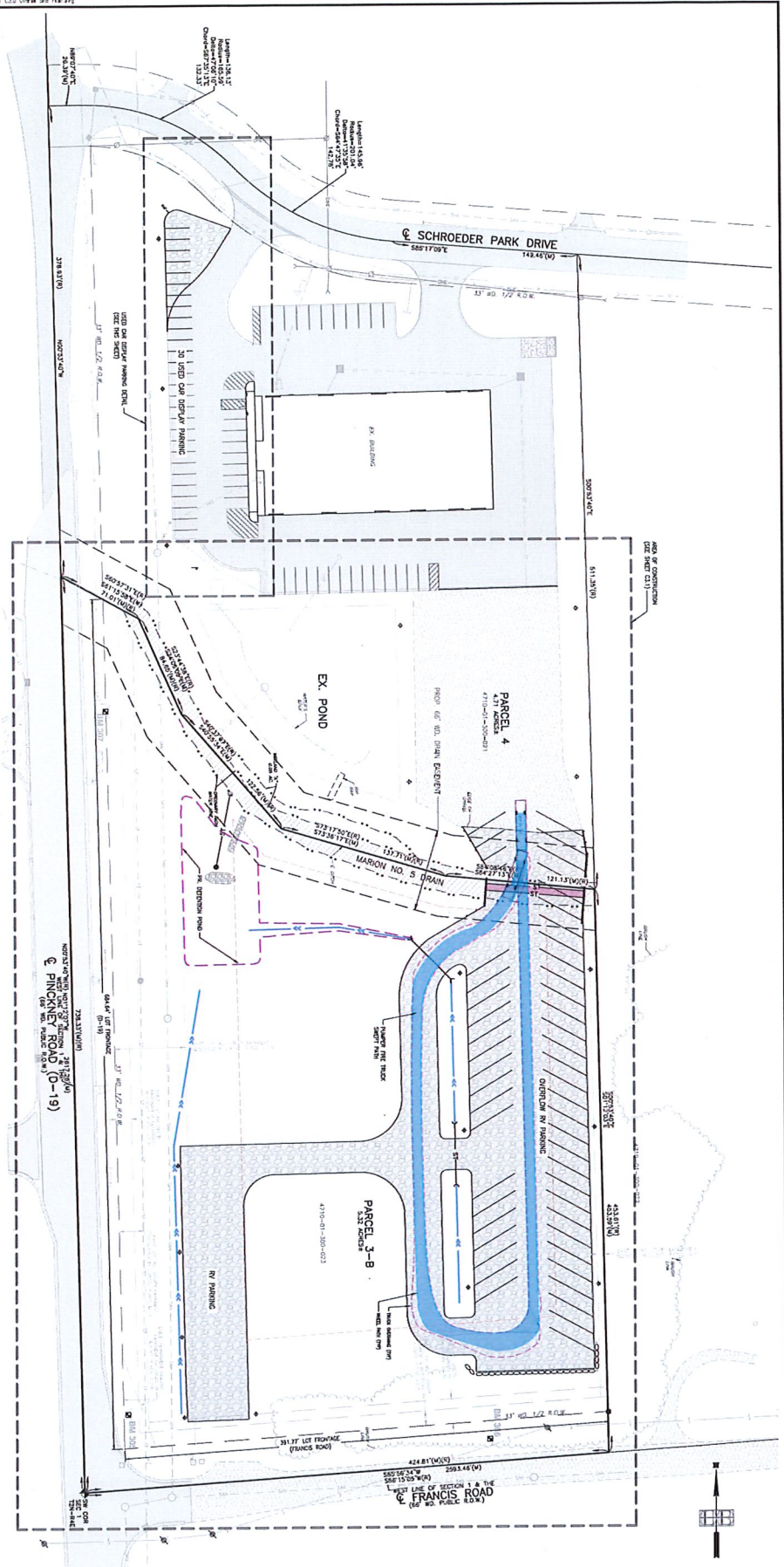
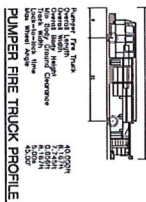
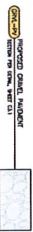
USED CAR DISPLAY PARKING DETAIL

SCALE: 1" = 20' (SEE)



- KEYED NOTES:**
- 1. SEE SHEET 17215-1 FOR GENERAL NOTES
 - 2. SEE SHEET 17215-1 FOR GENERAL NOTES
 - 3. SEE SHEET 17215-1 FOR GENERAL NOTES

PAVEMENT LEGEND



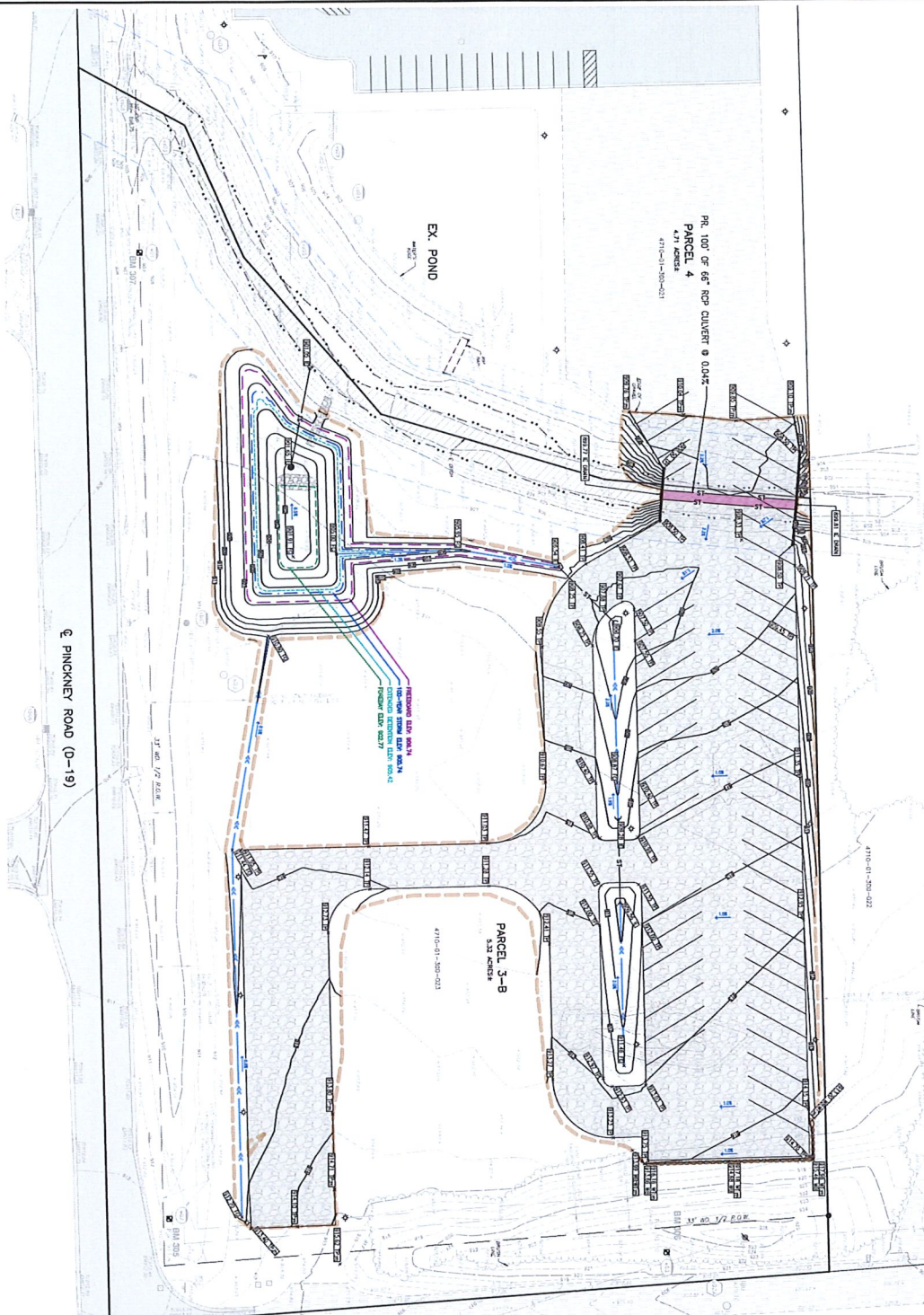
NO.	DATE	REVISIONS
1	02/27/2024	ISSUE FOR PERMIT
2	02/27/2024	FOR COMMENTS
3		
4		
5		
6		
7		
8		
9		
10		

SCHROEDER'S PARKING EXPANSION
 PARCEL NO. 4710-01-200-023
 MARION TOWNSHIP, WINSTON COUNTY, NC
 AVENUE SITE PLANS
 SITE LAYOUT PLAN

CLIENT
MATT SCHROEDER
 50 SCHROEDER PARK DR
 HOWELL, MI 48843



LIVINGSTON ENGINEERING
 CIVIL ENGINEERING SURVEYING PLANNING
 5300 S. OLD U.S. 23, BRIGHTON, MI 48114
 PHONE: (810) 225-7800 FAX: (810) 225-7800
 WWW.LIVINGSTONENGM.COM



GRADE PLAN NOTES:
 1. GOODS-GRADE IN BARRIER FREE MARKING SHALL NOT EXCEED 2% PER ADA STANDARDS

GRADE PLAN LEGEND

- PR. CONTOUR
- UNIT OF GRADING
- ROCK LINE
- SPOT GRADE
- SPOT GRADE
- RE. SPOT GRADE

SPOT GRADE ABBREVIATIONS LIST

- T = TOP OF PARADENT
- F = FINISH
- W = WALK
- M = MARCH
- W = WALK
- M = MARCH



© 2023

REV. NO.	REVISION	DATE
17215-1	ISSUE FOR PERMIT	06/27/2024
01	ISSUE FOR PERMIT	06/27/2024
02	ISSUE FOR PERMIT	06/27/2024
03	ISSUE FOR PERMIT	06/27/2024
04	ISSUE FOR PERMIT	06/27/2024
05	ISSUE FOR PERMIT	06/27/2024
06	ISSUE FOR PERMIT	06/27/2024
07	ISSUE FOR PERMIT	06/27/2024
08	ISSUE FOR PERMIT	06/27/2024
09	ISSUE FOR PERMIT	06/27/2024
10	ISSUE FOR PERMIT	06/27/2024

SCHROEDER'S PARKING EXPANSION
 PARCEL 3-B 4710-01-4300-023
 MARION TOWNSHIP, LIVINGSTON COUNTY, MI
 AVOIDED SITE PLANS
 SITE GRADING PLAN

CLIENT
 MATT SCHROEDER
 50 SCHROEDER PARK DR.
 HOWELL, MI 48843



LIVINGSTON ENGINEERING
 CIVIL ENGINEERING SURVEYING PLANNING
 3300 S. OLD U.S. 23, BRIGHTON, MI 48114
 PHONE: (810) 225-7100 FAX: (810) 225-7100

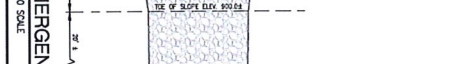
CS0

Item	Description	Value	Unit
I.A	Rational Coefficient Summary		
I.B	Gravel	0.7	1.24
I.C	Composite Band Coefficient C	0.40	
II.A	Time of Concentration Calculations		
II.B	Shallow Flow (along roadway or swale, upstream of sewer)		
II.C	Sewer Flow, Q_{sewer}	2.50	MGD
III	100-year Peak Intensity	7.5	in/hr
IV	Channel Protection Control (CPC)		
V	Channel Protection Rate Control (CPRC)		
VI	Variable Release Rate, Q_{var}	0.05	MGD
VII	100 Year Allowable Peak Flow Rate, Q_{100}	2.76	MGD
VIII	100-year Peak Inflow Rate, Q_{100}	9.4	MGD
IX	100 Year Storage Volume, V_s	23,885	cf
X	100 Year Peak Inflow Volume, V_p	4,559	cf
XI	100 Year Peak Inflow Rate, Q_{100}	684	cf/d
XII	100 Year Peak Inflow Rate, Q_{100}	684	cf/d

Item	Description	Value	Unit
III.A	100 Year Peak Intensity	7.5	in/hr
III.B	100 Year Peak Intensity	7.5	in/hr
III.C	100 Year Peak Intensity	7.5	in/hr
III.D	100 Year Peak Intensity	7.5	in/hr
III.E	100 Year Peak Intensity	7.5	in/hr
III.F	100 Year Peak Intensity	7.5	in/hr
III.G	100 Year Peak Intensity	7.5	in/hr
III.H	100 Year Peak Intensity	7.5	in/hr
III.I	100 Year Peak Intensity	7.5	in/hr
III.J	100 Year Peak Intensity	7.5	in/hr
III.K	100 Year Peak Intensity	7.5	in/hr
III.L	100 Year Peak Intensity	7.5	in/hr
III.M	100 Year Peak Intensity	7.5	in/hr
III.N	100 Year Peak Intensity	7.5	in/hr
III.O	100 Year Peak Intensity	7.5	in/hr
III.P	100 Year Peak Intensity	7.5	in/hr
III.Q	100 Year Peak Intensity	7.5	in/hr
III.R	100 Year Peak Intensity	7.5	in/hr
III.S	100 Year Peak Intensity	7.5	in/hr
III.T	100 Year Peak Intensity	7.5	in/hr
III.U	100 Year Peak Intensity	7.5	in/hr
III.V	100 Year Peak Intensity	7.5	in/hr
III.W	100 Year Peak Intensity	7.5	in/hr
III.X	100 Year Peak Intensity	7.5	in/hr
III.Y	100 Year Peak Intensity	7.5	in/hr
III.Z	100 Year Peak Intensity	7.5	in/hr

STORM WATER NARRATIVE

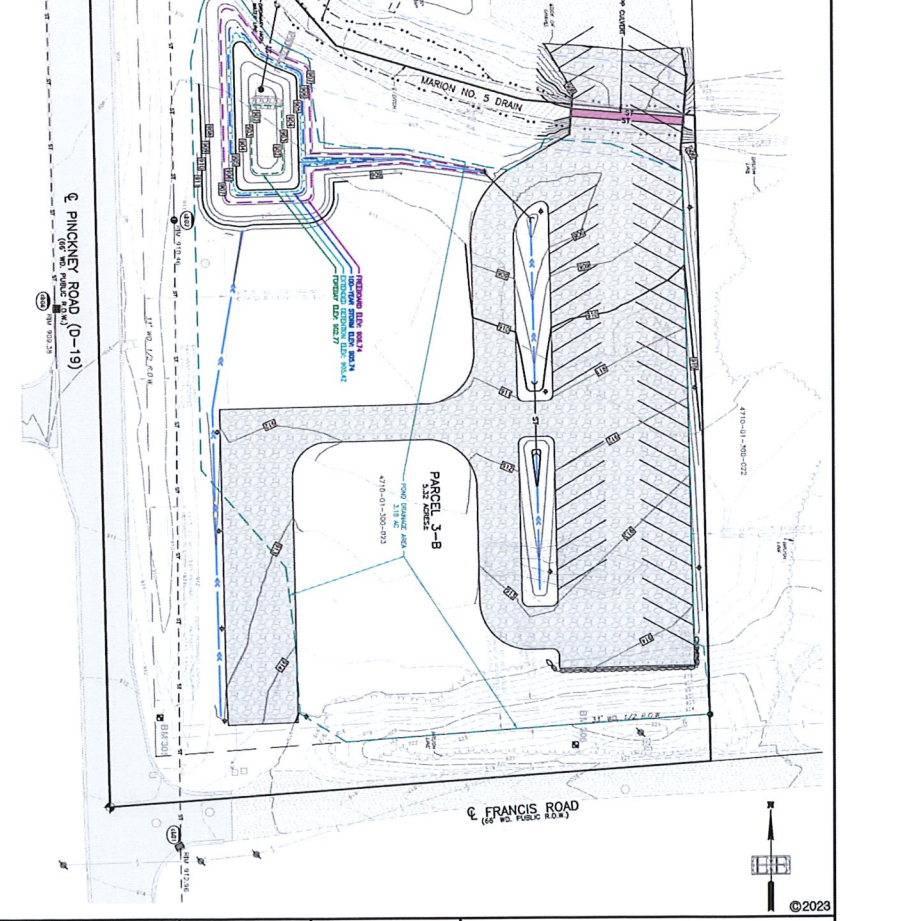
The proposed storm water management system consists of a 2.16 MG of storage capacity, a 100-year peak inflow rate of 684 cfs, and a 100-year peak inflow volume of 4,559 cfs. The system is designed to accommodate the following volumes: 23,885 cfs of storage volume, 4,559 cfs of peak inflow volume, and 684 cfs of peak inflow rate. The system is designed to accommodate the following volumes: 23,885 cfs of storage volume, 4,559 cfs of peak inflow volume, and 684 cfs of peak inflow rate.



Item	Description	Value	Unit
I.A	Rational Coefficient Summary		
I.B	Gravel	0.7	1.24
I.C	Composite Band Coefficient C	0.40	
II.A	Time of Concentration Calculations		
II.B	Shallow Flow (along roadway or swale, upstream of sewer)		
II.C	Sewer Flow, Q_{sewer}	2.50	MGD
III	100-year Peak Intensity	7.5	in/hr
IV	Channel Protection Control (CPC)		
V	Channel Protection Rate Control (CPRC)		
VI	Variable Release Rate, Q_{var}	0.05	MGD
VII	100 Year Allowable Peak Flow Rate, Q_{100}	2.76	MGD
VIII	100-year Peak Inflow Rate, Q_{100}	9.4	MGD
IX	100 Year Storage Volume, V_s	23,885	cf
X	100 Year Peak Inflow Volume, V_p	4,559	cf
XI	100 Year Peak Inflow Rate, Q_{100}	684	cf/d
XII	100 Year Peak Inflow Rate, Q_{100}	684	cf/d

STORM WATER NARRATIVE

The proposed storm water management system consists of a 2.16 MG of storage capacity, a 100-year peak inflow rate of 684 cfs, and a 100-year peak inflow volume of 4,559 cfs. The system is designed to accommodate the following volumes: 23,885 cfs of storage volume, 4,559 cfs of peak inflow volume, and 684 cfs of peak inflow rate. The system is designed to accommodate the following volumes: 23,885 cfs of storage volume, 4,559 cfs of peak inflow volume, and 684 cfs of peak inflow rate.



NO.	DATE	DESCRIPTION
1	17/215-1	ISSUED FOR PERMITS
2	17/215-1	ISSUED FOR PERMITS
3	17/215-1	ISSUED FOR PERMITS
4	17/215-1	ISSUED FOR PERMITS
5	17/215-1	ISSUED FOR PERMITS
6	17/215-1	ISSUED FOR PERMITS
7	17/215-1	ISSUED FOR PERMITS
8	17/215-1	ISSUED FOR PERMITS
9	17/215-1	ISSUED FOR PERMITS
10	17/215-1	ISSUED FOR PERMITS

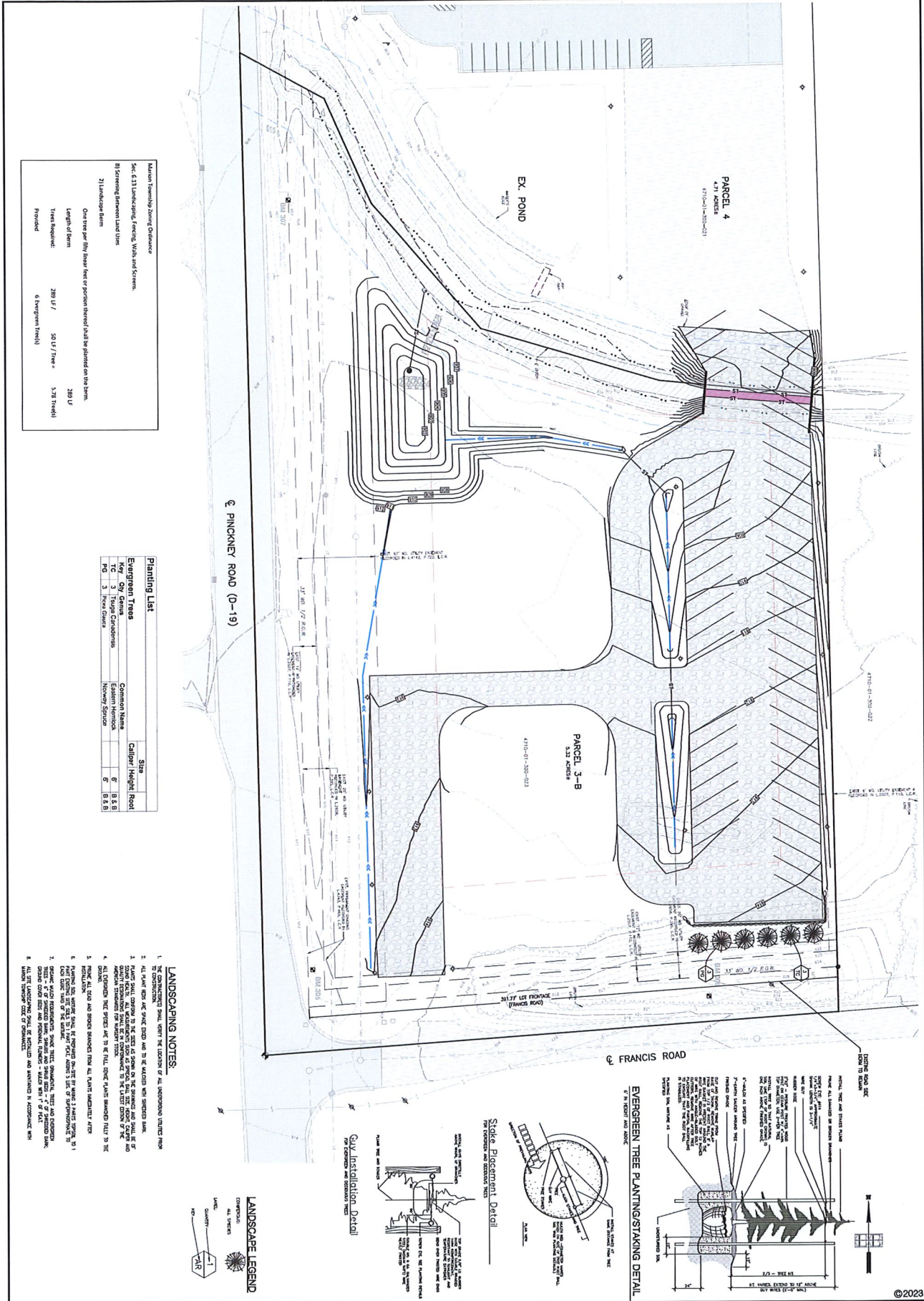
SCHROEDER'S PARKING EXPANSION
PARCEL 3-B
PARCEL 4
MARION TOWNSHIP, LIVINGSTON COUNTY, MI
ANNUED SITE PLAN
STORM WATER MANAGEMENT PLAN

CLIENT
MATT SCHROEDER
60 SCHROEDER PARK DR
HOWELL, MI 48843

SCALE
GRAPHIC SCALE: 1" = 40'
EXCEPT AS NOTED

LIVINGSTON ENGINEERING
CIVIL ENGINEERING SURVEYING PLANNING
3300 S. OLD U.S. 23, BRIGHTON, MI 48114
PHONE: (810) 225-7100 FAX: (810) 225-7669

WWW.LIVINGSTONENG.COM



Minimum Township Zoning Ordinance

Sec. 4.11 Landscaping, Fencing, Walls and Screens

(H) Screening Between Land Uses

2) Landscape Screen

One tree per fifty linear feet or portion thereof shall be planted on this screen.

Length of Screen: 280 LF / 30 LF / Tree = 5.78 Trees!

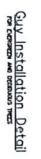
Tree Height: 20 LF

Spaced: 6 Evergreen Trees!

Planting List

Key	Ornamental	Common Name	Size	Caliper / Height / Root
PG 3	Evergreen Trees	Common Name	Size	Caliper / Height / Root
PG 3	Plant Species	Common Name	Size	Caliper / Height / Root

- LANDSCAPING NOTES:**
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWNSHIP ZONING ORDINANCE.
 2. ALL PLANTING SHALL BE DONE AND TO BE MAINTAINED WITH SPECIFIC CARE.
 3. PLANTING SHALL BE DONE TO THE BEST OF THE CONTRACTOR'S ABILITY AND TO THE BEST OF THE CONTRACTOR'S KNOWLEDGE AND BELIEF.
 4. ALL CONSTRUCTION SHALL BE DONE TO THE BEST OF THE CONTRACTOR'S ABILITY AND TO THE BEST OF THE CONTRACTOR'S KNOWLEDGE AND BELIEF.
 5. ALL CONSTRUCTION SHALL BE DONE TO THE BEST OF THE CONTRACTOR'S ABILITY AND TO THE BEST OF THE CONTRACTOR'S KNOWLEDGE AND BELIEF.
 6. ALL CONSTRUCTION SHALL BE DONE TO THE BEST OF THE CONTRACTOR'S ABILITY AND TO THE BEST OF THE CONTRACTOR'S KNOWLEDGE AND BELIEF.



REVISIONS

NO.	DATE	BY	DESCRIPTION
1	17215-1		
2			
3			
4			
5			

DATE: 02/27/2024

SCHROEDER'S PARKING EXPANSION

PARCEL ID# 4710-01-300-023

MARION TOWNSHIP, MICHIGAN COUNTY, MI

AWARDED SITE PLANS

LANDSCAPE PLAN

CLIENT

MATT SCHROEDER

50 SCHROEDER PARK DR

HOWELL, MI 48843

SCALE

GRAPHIC SCALE: 1" = 30'

EXCEPT AS NOTED

LEE

WWW.LEEENGINEERS.COM

LEE ENGINEERING

CIVIL ENGINEERING SURVEYING PLANNING

3300 S. OLD U.S. 23, BRIGHTON, MI 48114

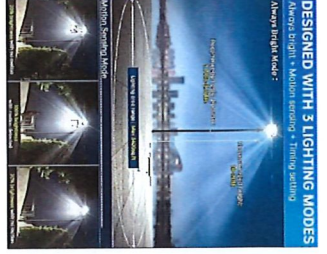
PHONE: (810) 225-7100 FAX: (810) 225-7600

DESIGNED WITH 3 LIGHTING MODES
 Always Bright Never - Motion Sensitive - Timing Sensitive

Always Bright Mode
 Motion Sensitive Mode
 Timing Sensitive Mode

Definitely 3000K Solar Street Light Outdoor 30000LM
 Security Flood Light Flood Sensor Solar Led Lamp for
 Basketball Court Road Highway

SOLAR LIGHTING DETAILS
 NOT TO SCALE



D-Series Size 0 LED Area Luminaire

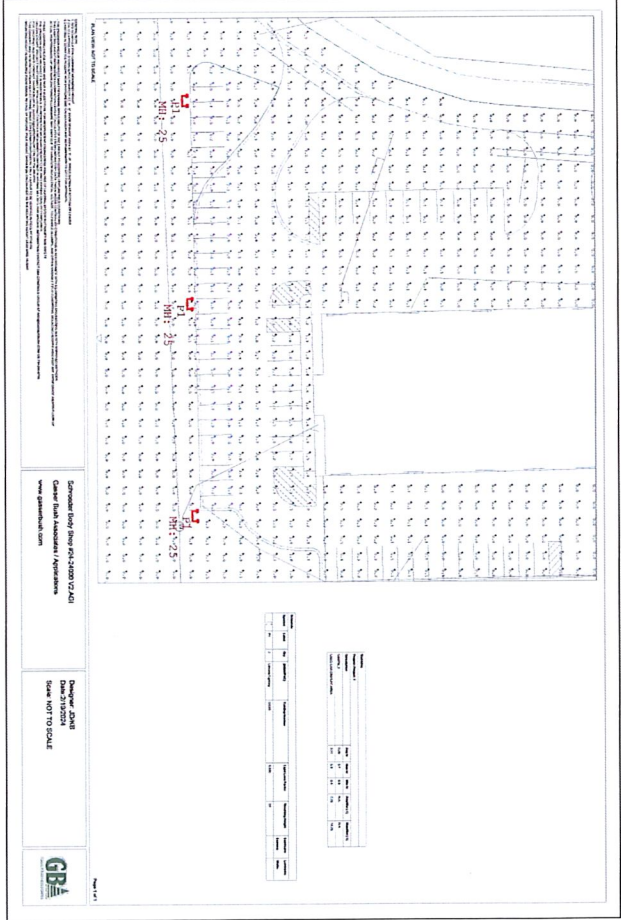
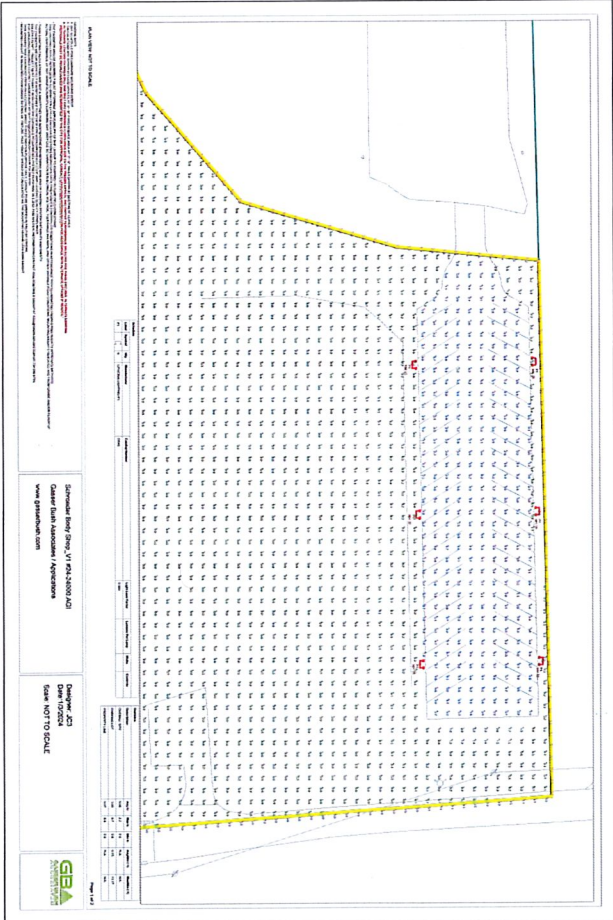
Specifications

Model	D-Series Size 0
Height	1000mm
Width	1000mm
Depth	1000mm
Weight	100kg
Material	Aluminum
Finish	Black
Color Temperature	3000K
Beam Spread	120°
Light Output	30000LM
Power Consumption	100W
Life Span	50,000 Hours
Warranty	5 Years

Notes:

1. This luminaire is designed for use in conjunction with the D-Series Solar Street Light.
2. The luminaire is designed for use in conjunction with the D-Series Solar Street Light.
3. The luminaire is designed for use in conjunction with the D-Series Solar Street Light.

EXAMPLE: INSTALLED IN A PARKING LOT



17215-1

DATE: 02/27/2024

SCALE: 1" = 10'-0"

CLIENT: MATT SCHROEDER
 50 SCHROEDER PARK DR
 HOWELL, MI 48843

SCALE: AS NOTED

©2023

SCHROEDER'S PARKING EXPANSION

PARCEL ID# 4710-01-200-023
 MARION TOWNSHIP, WINSTON COUNTY, MI

AWARDED SITE PLANS
 PREPARED BY: PLAN

SCALE: 1" = 10'-0"

DATE: 02/27/2024

REVISIONS:

NO.	DATE	DESCRIPTION
1	02/27/2024	AWARDED SITE PLANS

DATE: 02/27/2024

SCALE: 1" = 10'-0"

CLIENT: MATT SCHROEDER
 50 SCHROEDER PARK DR
 HOWELL, MI 48843

SCALE: AS NOTED

©2023

CLIENT: MATT SCHROEDER
 50 SCHROEDER PARK DR
 HOWELL, MI 48843

SCALE: AS NOTED

©2023

LIVINGSTON ENGINEERING
 CIVIL ENGINEERING SURVEYING PLANNING
 3300 S. OLD U.S. 23, BRIGHTON, MI 48114
 PHONE: (313) 225-7100
 FAX: (313) 225-7689

WWW.LIVINGSTONENGL.COM

Combined Revised and Final Site Plan Review for Marion Township Planning Commission

INTRODUCTION

Petition Number	SPR 01-24 Schroeder
Applicant	Mathew Schroeder for Armstrong Property Holdings
Request	Combined revised and final site plan review for automobile repair garage (<i>including recreational vehicles</i>) and automobile/recreational vehicle sales
Location	50 Schroeder Park Eastern side of Pinckney/D-19, between Schroeder Park and Francis

PETITION SUMMARY

The applicant is requesting an amended site plan to expand a parking/display of vehicles for sale area and a final site plan for a new parking/display area for recreational vehicles.

There is an existing automobile repair garage use (*including recreational vehicles repairs*), which is a special use, and vehicles sales, which is a permitted use, on the northern portion of the site.

Proposed improvements also include lighting, a culvert to cross Marion Drain #5, which runs between the northern and southern portion of the site, landscaping, and a stormwater management system.

The proposed expansion requires site plan review and approval. Special use review and approval is required for expansion of the automobile repair garage use.

Additional information is necessary to determine compliance with the Zoning Ordinance.

PROPERTY/SITE INFORMATION

Address	50 Schroder Park
Location	Eastern side of Pinckney/D-19, between Schroeder Park and Francis
Parcel Numbers	10-01-300-021, 10-01-300-021
Lot Area	10.02 acres (<i>gross, includes right-of-way</i>) ~390 feet (<i>Schroeder Park</i>)
Frontage	~1,050 feet (<i>Pinckney/D-19</i>) ~420 feet (<i>Francis</i>)

Current Zoning Highway Service (HS)
 Existing Uses Automobile repair garage and Vehicle sales (*northern portion/parcel*), Vacant/undeveloped (*southern portion/parcel*)
 Future Land Use Map Commercial

Surrounding Properties

	Zoning	Use	Future Land Use
North	HS Highway Service	Automobile repair garage	Commercial
East	SR Suburban Residential, HS Highway Service	Religious institution, Vacant	Commercial
South	UR Urban Residential	Attached residential dwellings	Sewered High Density Residential
West	HS Highway Service	Undeveloped, Automobile filling station	Commercial

Items to be Addressed: The site data, including legal descriptions, site data table, and adjacent property table, to be revised to address the whole site (both parcels).

According to information from Livingston County, the 2 parcels that constitute the site are owned by different entities. The applicant should provide confirmation that he has authority to act on behalf of both parcels or has acquired ownership of both parcels. Because of how this site/these parcels will be developed and bound together, these 2 parcels should be combined into a single parcel.

NATURAL RESOURCES

Topography The site generally slopes downward to the center, between the 2 parcels. The southern property has significant slopes on the south along Francis and 2 notable mounds, with heights of 4 to 7 feet. The proposed parking area will be graded, and a retaining wall is proposed along the southern side of the paved area.

Wetlands There are no wetlands identified on the site. There are hydric soils in the central portion of the site. The previous site plan showed wetlands between the parking lot and Pinckney/D-19.

Woodlands There are no woodlands on the site, but there are a number of trees. The site plan identifies a single tree for removal, but it

appears more trees will be removed. The site plan does not identify the method or location of tree protection measures.

Soils
 A majority of the area to be developed has either Miami loams or Owosso-Miami sandy loams, with are compatible with most development. The area to the north and south of the creek are muck soils, which are challenging to develop.

Water
 A creek/Marion Drain #5 runs east/west across the middle of the site, between the two parcels. A crossing is proposed from the developed northern portion of the site to the southern portion of the site to be developed. The Livingston County Drain Commissioner has requested a 66-foot-wide drain easement, centered on the drain.

Items to be Addressed: All of the trees to be removed to be identified. The location of protective fencing to protect trees to remain to be shown. Clarification of why wetland identified in previous site plan is not shown.

DEVELOPMENTAL STANDARDS

General developmental standards for HS Highway Service districts are defined in §9.01(E) Site Development Requirements.

	Required	Proposed	Complies
Lot Area	1 acre	>9 acres	Yes
Frontage	150 feet ¹	>350 feet	Yes
Front-yard Setback ²	80 feet, 100 feet Pinckney/D-19	~56 feet (<i>park expansion on northern parcel</i>), ~45 feet (<i>vehicle display area to Pinckney/D-19</i>), ~15 feet (<i>vehicle display area from Francis</i>)	No ²
Side-yard Setback ^{2,3}	n/a	n/a	n/a
Rear-yard Setback ²	40 feet	10 feet (<i>parking area on southern parcel</i>)	No ²
Lot Coverage	40 percent	Unknown	Likely
Height	35 feet	Unknown	Likely
Repairs	No major repairs outside of building	Unknown	Unknown

Discarded Materials	Completely screened by 5-foot fall opaque fence	Unknown	Unknown
---------------------	-------------------------------------------------	---------	---------

- 1) Larger width/frontage required for automobile repair garage.
- 2) Landscape buffers required along certain lot lines.
- 3) Because of the configuration of the site, it has front yards and rear yards. There are no side yards.

Items to be Addressed: Missing information above to be added to the site plan.

ACCESS AND CIRCULATION

The site will continue to be accessed by 2 existing driveways from Schroeder Park to the north. The proposed addition for used car display parking would reduce the stacking length to less than the 2-car length required.

There will be no direct road access for the southern portion of the site. It will be accessed by a drive that crosses Marion Drain #5 from the northern portion of the site.

Turning radii for emergency vehicles, especially fire apparatus, should be added to the site plan to ensure the southern portion of the site is accessible.

Items to be Addressed: Reconfigure western driveway to continue to provide 2 stacking spaces or apply for necessary variance. Approval of fire chief for accessibility.

OFF-STREET PARKING AND LOADING

The site plan calls for asphalt paving of the expanded parking/display area on the northern portion of the site and 21AA aggregate base for the parking/display areas on the southern portion of the site.

All commercial parking areas must be marked. Commercial parking areas with a capacity of 4 or more vehicles must have a durable, smooth, and dustless surface. Neither the application nor the site plan describes how the parking areas on the southern portion of the site will be marked or kept dust free.

Although not expressly stated, the standards of the Zoning Ordinance for commercial parking areas, especially with more than 4 spaces, appear to call for a paved asphalt, concrete, or similar material.

The site plan notes the spaces for used car display parking will be 20 feet deep by 9 feet wide. The minimum width for parking spaces with 90-degree orientation is 10 feet. These spaces need to be widened.

Although setbacks are not labeled, it appears that the proposed parking and display areas are located within front-yard setbacks/greenbelt buffers. These setbacks should be

labelled. The site plan should be modified accordingly or any necessary variances should be applied for.

Items to be Addressed: Revisions made to address surface/dust, marking, dimensions, and setback/greenbelt buffer.

SIGNAGE

The site plan does not show the location of any existing or proposed signs.

Items to be Addressed: Existing signs to be added to the site plan. Proposed signs to be added to the site plan or confirmation from the applicant that there will not be any additional signs.

LANDSCAPING

The landscaping plan on Sheet C 8.0 proposes planting 6 evergreens, including 3 Eastern Hemlock and 3 Norway Spruce, along the western portion of the southern lot line along Francis. Landscaping is not proposed on the northern portion of the site, between the parking area and eastern lot line, between the parking/display area and Pinckney/D-19, or within the parking area.

The proposed trees will be 6 foot tall, on a small berm, with 6 inches of mulch. Both of the proposed species are identified as being at increased risk to disease or pest in Michigan and should be replaced with different species. A cross section of the berm is not included. The proposed mulch depth could cause health issues for the trees; a depth of 3 to 4 inches would be more appropriate.

A landscape buffer is required between non-residential uses and adjacent residential zoning districts and uses, per §6.13(B) Screening Between Land Uses. The proposed use is adjacent to residentially-zoned and used property to the south. The buffer could be a 50-foot-wide greenbelt, a landscaping berm, or a thick evergreen screening. The only proposed buffer is the 6 pine trees noted above.

Landscaping is required within or at the perimeter or parking areas, per §6.13(C) Parking Lot Landscaping. The landscape plan does not show any landscaping associated with any of the proposed parking areas. It also appears some parking landscaping shown on the original site plan was never installed or has been removed.

Greenbelt buffers equal to the front-yard setback, in this case 100 feet, are required along the right-of-way along public streets or major thoroughfares, including Pinckney/D-19. The buffer must be landscaped with at least 1 tree for every 30 linear feet of frontage. The proposed parking/vehicle display area expansion on the northern portion of the site and the proposed parking/vehicle display area on the southern portion of the site are within this required greenbelt buffer. No additional plantings are proposed within this area.

If there will be any outdoor storage of supplies or materials, it must be screened with a solid wall or fencing, per §6.13(F)(3). The applicant should clarify if there will be any outdoor storage, with a noted and any details added to the site plan.

The Planning Commission may recommend waivers of modifications of landscaping standards as part of site plan review to the Township Board, as outlined in § 6.13(G)(4) Modification. The standards for granting a waiver or modification are: 1) specific characteristics of the site or vicinity would make required screening unnecessary or ineffective, or 2) it would impair vision at a driveway or street intersection. In order to consider a waiver or modification, the site plan should identify the specific waiver or modification being requested and show calculations of what would otherwise be required.

Items to be Addressed: Landscaping plan revised as noted above or calculations for required landscaping for a waiver/modification request to be provided.

LIGHTING

The lighting plan on Sheet C 9.0 shows 2 types of fixtures and photometric plans. The photometric plan shows 3 poles with 2 Lithonia fixtures on each pole with a mount height of 25 feet along the western side of the parking on the northern parcel and 6 poles with 2 Lithonia fixtures on each pole with a mount height of 25 feet along the eastern and western sides of the parking area on the southern parcel.

The lighting plan also includes specifications for Gefolloy solar street lights. Five of these fixtures are shown around the vehicle display area on the southern portion of the site, but they are not shown on the photometric plan. These fixtures are not full-cutoff and would create glare and project light onto adjacent properties or roads. They should be replaced with another fixture type.

The photometric plan does not appear to show any existing light fixtures on the northern portion of the site.

It is not clear how the light distribution in the photometric plan is achieved. If any shielding is used, it should be included in the lighting plan.

The proposed color temperature and mounting height appear would likely impact the safe movement of traffic on Pinckney/D-19 (§9.01(E)(6)d). Although the footcandles at ground level is low along the right-of-way, light fixtures mounted more than 20 feet high tend to create glare for motorists. Additionally, the color temperature would be very cool, contrasting with the desired rural character.

The proposed fixtures would use light emitting diodes. The Zoning Ordinance, §14.014(E)(2) requires high-pressure sodium, which has a color temperature of 1900K to 2000K. The Planning Commission may approve alternate luminaires that use "warm white or natural lamp colors," but the color temperature should be 3000K or less.

Items to be Addressed: Photometric plan to be revised as noted above. Planning Commission guidance on whether it would consider an alternate light source in place of high-pressure sodium.

SPECIFIC USE STANDARDS

Specific standards for automobile repair garage are located in §17.04(A) Automobile Repair Garage. Marion has historically interpreted and applied recreational vehicle repair as a comparable use, subject to these standards.

The site is located within a HS Highway Service district and meets the minimum lot size and lot width/frontage. Because the proposed site plan represents an expansion of a special use permit within the current site and onto another parcel, a new special use permit or amended special use permit approval is required.

Parking areas must be consistent with 17.04(B)(4) and Site Development Requirements. See the off-street parking and loading section of this report.

Buffer zones consistent with §6.13 Landscaping, Fencing, Walls, and Screens must be provided. See the landscaping section of this report.

Lighting must be shielded consistent with §14.04(E) Lighting. See the lighting section of this report.

Storage of vehicles that are not operable for any reason (*mechanical, plates, registration*), is limited to a period of 30 days and cannot be located in a front yard. This should be noted as a condition of approval, with a note added to the site plan.

§14.04A(D)(3) explicitly prohibits "sales of new and used motorized vehicles." We are aware that the site has been used for both the repair and sales of motorized vehicles. We defer to those with more knowledge of previous approvals how this specific standard was interpreted. Sale of motorized vehicles should not be expanded to the southern portion of the site. This should be noted as a condition of approval, with a note added to the site plan.

Items to be Addressed: Completed special use permit application to be submitted by applicant. Notes related to vehicle storage and motorized vehicle sales added to site plan.

DECISION CONSIDERATIONS

The site plan process is outlined in Article XVIII Site Plan Requirements.

Site plan approval is required for the proposed use and improvements. Grading, removal of trees/vegetation, filling, or construction of improvements must not start until the site plan is in effect.

As noted throughout this report, additional information is necessary to determine compliance with the Zoning Ordinance. Because of the extent of the additional information needed, this report does not examine the decision considerations.

The Planning Commission may review the site plan application and provide guidance to the applicant on discretionary decision, such as lighting type and other modifications. A recommendation decision should be postponed until a complete application has been provided.

PETITION TIMELINE

The application was submitted to the Township on February 27, 2024.
The application will go before the Planning Commission at its March 26, 2024, meeting.

SUMMARY

The application for the automobile repair garage/vehicle sales site plan is not complete at this time. Additional information, identified throughout this report, is needed to confirm consistency with some of the specific standards and bases of determination.

The proposed expansion would also require special use permit review and approval and is likely to require a variances or modifications of the site plan.

The Planning Commission should review the information available and direct the applicant to provide additional information.

A draft resolution has not been prepared at this time due to the need for additional information, revision, and documentation.

We look forward to helping facilitate this process at the meeting.

Zach Michels
Quality Zoning
Dexter, MI



March 14, 2024

Dave Hamann, Zoning Administrator
Marion Township
2877 W Coon Lake Rd
Howell, MI 48843

RE: Schroeder's Body Shop
Final Site Plan Review

Mr. Hamann:

We have received and reviewed the revised site plan for expanding the parking/vehicle storage at Schroeder's Body Shop, which is located on the east side of D-19 (Pinkney Rd) and the south side of Schroeder Park Dr. The plans were prepared by Livingston Engineering and are dated 03-08-24. We offer the following comments:

General

The property is in the Highway Service District and is currently vacant. This project will be an extension of an automotive body shop just north of the property. A legal description is provided on the cover sheet and closes within acceptable tolerances. The property is 5.32 acres. There is a location map on the cover showing the position of the property within the section, and a vicinity map showing its location relative to roads.

A soils map has been provided for this site. The majority of the site contains soil classifications OmD (Owosso-Miami sandy loam) and MoD (Miami loam), as well as soil classification HgtahA (Houghton muck) along the county drain. Neighboring property information is shown on this map as well. The site is surrounded by an automobile service to the north, a church and retirement home to the east, and residential to the south across Francis Road. A gas station and storage unit development are across D-19 to the west. Zoning of the surrounding parcels is Highway Service with the exception of the church to the east which is zoned Suburban Residential and the UR residential zoning to the south.

The proposed use of the site is a gravel parking area/storage lot for RVs and a small vehicle roadside display lot at the corner of D-19 and Francis Road.

Landscaping

There is a small amount of landscaping shown with a row of trees for screening at the southeast corner of the site. The 6 trees are designated as Eastern Hemlock and Norway Spruce evergreens, 3 of each. No other landscaping is shown on the site. The trees are placed outside of the existing utility easements located along the south and eastern boundaries of the site. We defer to the planner for comments regarding landscaping and setback requirements.

Water Service

The existing body shop is serviced with municipal water from Schroeder Park Drive. There is an existing water main shown along east ROW of D-19. Although it is not shown on the plans, there is also an existing main on the north side of Francis Road. The current parking expansion does not require any changes to the site's water service and no new main is proposed. The construction activities do not appear to have any impact on the existing water mains on D-19 and Francis. We defer to MHOG for any additional comments on the water system.

Sanitary Sewer

Existing sanitary sewer is located east of D-19, and along the north side of Schroeder Park Drive, and down the center of Francis Road. A sewer connection is not anticipated for the parking lot expansion and the proposed grading does not appear to have any effect on the existing sewer lines.

Storm Water and Drainage

The proposed storm drainage system includes swales that drain the RV storage lot via culverts to a stormwater detention basin. The parking lot access will require crossing the Marion No. 5 drain and enclosing a 100' portion of the drain. A 60" HDPE corrugated plastic culvert is proposed for the enclosure. Enclosing a drain is a significant undertaking and proper study must be performed to ensure the pipe does not restrict flow and cause upstream flooding. No data has been provided on the site plan related to the existing drain capacity or the proposed culvert capacity. We request this data be shown to verify the site can be constructed as shown.

Details for the detention basin forebay filter berm, emergency spillway and outlet control structure have been provided and are acceptable. See the comments below for additional specifics for the point where the outlet control structure discharges to the drain.

Water is released from the detention basin via a standpipe draining to the Marion No. 5 drain along the northern property line. The drain easement extends 8' beyond the top banks of the drain. The engineer should note that the soils in this area are known to be unstable and should plan accordingly.

Calculations have been provided for sizing the detention basin. It appears the required detention volume has been provided according to Livingston County Drain Commissioner's (LCDC) requirements

The engineer should verify that the vehicle roadside display area is included in the detention pond drainage area. The grading indicates this parking area drains toward the basin via sheet flow but there are no storm sewers, culverts or swale shown that demonstrate flow being directed to the basin. It appears some of the display area may drain toward the ditch along D-19. Sheet flow is acceptable as long as the appropriate runoff volume is detained and treated within the site.

Correspondence with the LCDC office produced the following comments relative to site plan review level detail:

- The easement for the Marion No. 5 Drain from 1886 references a width from channel dimensions plus a distance of 8' back from the top of bank for the placement of spoils. Given the changes in

March 14, 2024

Page 3 of 5

land use since 1886, LCDC requests a wider easement (66' total, 33' each side of the drain) for drain maintenance purposes.

- Our estimation of the drain bottom elevation in the vicinity of the proposed detention basin outlet is somewhere between 897.9 and 898.2. The drain bottom should be confirmed in the area of the proposed basin outlet pipe. If the outlet invert is more than 2' above the drain bottom, the risk of erosion will cause LCDC to require a performance bond from the applicant (minimum \$5,000 cash). These funds will be released to the owner after the outlet has stabilized and has been tested by a minimum of three full basin discharge events.
- A commercial soil erosion control permit will be required for the project. A soil erosion control plan will be required for the project.

We defer to the LCDC for any additional comments regarding stormwater management and the Marion No. 5 drain. A permit from LCDC will be required for the drain enclosure.

A permit will be required from EGLE for the drain enclosure.

Paving and Parking

The existing building has a combination of paved and gravel parking. The proposed project includes extending the existing gravel parking area in the southeast corner of the building site across the Marion No. 5 drain and creating a vehicle roadside display area at the corner of D-19 and Francis Road. The main RV storage lot will accommodate approximately 45 new parking stalls. There is no indication given of the number of parking spaces or vehicles this area will hold. There is also a small parking lot expansion proposed in the northwest corner of the existing site. This has already been constructed. This area creates roughly 9 new parking spaces.

A portion of the roadside display area has also already been constructed. This area currently has a drive approach to Francis Road along with a gate. The current plans do not reflect the field conditions and should be modified to reflect the actual intent for that area. Please clarify if the gate will be removed as well as the drive approach. It is our understanding that the Livingston County Road Commission has not approved this drive approach.

All of the proposed parking spaces meet the Township minimum size of 9'x20'.

All of the parking areas being proposed as gravel parking areas. No pavement or curb is proposed. The Township zoning ordinance 14.04.D states:

Commercial parking areas with a capacity of four (4) or more vehicles shall be surfaced with a material that shall provide a durable, smooth, and dustless surface and shall be graded and provided with adequate drainage.

For commercial and industrial areas our recommendation is for some type of pavement, either HMA or concrete, be installed. It provides a more reliable surface and is easier to maintain. This is important for areas where the public has access and will be frequently occupying or traversing the parking lot. In this case, the general public access to these proposed gravel parking areas is limited. The Township has allowed gravel parking/vehicle storage lots in this general area on other developments and may wish consider it to be appropriate in this case as well.

Site Lighting

Lighting is proposed around the perimeter of the RV storage lot and at the front of the existing building along D-19 (used car display area). The proposed light fixtures are solar powered LED. The provided photometric plan shows the average light level of the used car display area to be 3.1 footcandles (fc) with a max of 5.9 fc. The light levels at the property line in this area are generally 0.0 fc, which is acceptable. The provided map does not show all the way to the corner of Shroeder Park and D-19 and the light levels in this area are slightly above zero, but this should not create any problems as the levels are quite low.

The map indicates the light levels for the RV storage lot will average 3.7 fc with a max of 6.7 fc. The light levels shown at the eastern and southern property lines are slightly above zero. This may not cause any issues on Francis Road itself but the light levels along the eastern line should be lowered to 0.0 to avoid causing any issues with the retirement home to the east. The light levels are not overly bright but the Township requirement is for all light to be confined to the development site.

A few plan sheets indicate that lighting will be installed adjacent to the vehicle roadside display area along D-19 but this is not reflected on the photometric plan. A few lights are already installed in this area. The applicant should clarify the lighting situation for this lot and the photometric plan should be updated accordingly.

Recommendations

Should the Township wish to consider the plans for approval, we recommend the following conditions be placed on the approval:

1. Please indicate on the plans the existing drain capacity and the capacity of the proposed culvert for the drain enclosure.
2. Please verify that runoff from the proposed vehicle roadside display area will be captured in the stormwater management system.
3. Please provide the drain easement requested by LCDC
4. Please verify the drain bottom at the detention basin discharge pipe as requested by LCDC.
5. Please provide a soil erosion control plan.
6. Please clarify if the gate and drive approach will be removed in the area of the vehicle storage display.
7. Please reduce the light levels at the property line near the retirement home.
8. Please clarify the lighting intent for the vehicle roadside display and update the photometric plan accordingly.
9. Please provide permits or approvals from:
 - a. LCDC
 - b. EGLE
 - c. Howell Area Fire Department

March 14, 2024

Page 5 of 5

If you have any questions or need anything further, please feel free to contact our office.

Sincerely,



Philip A. Westmoreland, P.E.

Principal

SPICER GROUP, INC.

30300 Telegraph Road, Suite 100

Bingham Farms, MI 48025

CC: SGI File
Timothy J. Zimmer, P.E., Livingston Engineering (via email)
Ken Recker, P.E., Livingston County Drain Commissioner's office (via email)
Kim Hiller, P.E., Livingston County Road Commission (via email)
Greg Tatara, P.E., MHOG (via email)

Dave Hamann

From: Ken Recker <KRecker@livgov.com>
Sent: Tuesday, February 27, 2024 4:26 PM
To: Dave Hamann
Cc: Darrin Burns; Mitch Dempsey; Timothy J Zimmer
Subject: RE: [EXT] Request for review of revised site plan expansion for parking
Attachments: FW: [EXT] RE: FW: 66" culvert with headwall alternate - Schroeder Body Sh... (183 KB)

Hi Dave,

I discussed this with Phil earlier today. I also sent him a copy of the earlier correspondence, which I've also attached to this email. Other comments (above and beyond those in the attachment) would be as follows:

1. At the length of drain enclosure shown (95') the 66" metal pipe will require a banded joint underneath the proposed parking area. We do not allow CMP bands under vehicular travel surfaces within county drainage easements. We have provided the applicant with a price to install a HPPP plastic pipe at the proposed location. Alternately reinforced concrete pipe should be used.
2. The easement for the Marion No. 5 Drain from 1886 references a width from channel dimensions plus a distance of 8' back from the top of bank for the placement of spoils. Given the changes in land use since 1886, I'd request a wider easement (66' total, 33' each side of the drain) for drain maintenance purposes.
3. Our estimation of the drain bottom elevation in the vicinity of the proposed detention basin outlet is somewhere between 897.9 and 898.2. The drain bottom should be confirmed in the area of the proposed basin outlet pipe. If the outlet invert is more than 2' above the drain bottom, the risk of erosion will cause our office to require a performance bond from the applicant (minimum \$5,000 cash). These funds will be released to the owner after the outlet has stabilized and has been tested by a minimum of three full basin discharge events.
4. A commercial soil erosion control permit will be required for the project. A soil erosion control plan will be required for the project. Due to the close proximity of the Francis Road entrance to Pinckney Road, a tracking mat should be specified at the Francis Road entrance.

We did not perform a detailed review of the calculations on Sheet C6.0 as I trust Spicer will be doing that task as part of their normal site plan review.

Have a good evening! If you need anything further let me know.

Kenneth E. Recker, II, P.E.
Chief Deputy Drain Commissioner

From: Dave Hamann <za@mariontownship.com>
Sent: Tuesday, February 27, 2024 2:33 PM
To: Ken Recker <KRecker@livgov.com>; Jamil Czubenko <jczubenko@howellfire.net>; khiller@livingstonroads.org; Aaron Aumock <AAumock@livgov.com>
Subject: [EXT] Request for review of revised site plan expansion for parking

"The e-mail below is from an external source. Please do not open attachments or click links from an unknown or suspicious origin."

Attached please find a revised site plan to allow expansion of parking for the previously approved Schroeder Body Shop at 50 Schroeder Park Dr. This site plan expands to the 5.3 acre south lot that Matt is adding to move parking for RV's and vehicles to that parking lot to relieve area around the shop

Dave Hamann

From: Bryan Hager <hafdinspector20@gmail.com>
Sent: Tuesday, March 19, 2024 4:19 PM
To: za@mariontownship.com
Subject: Schroeder

Dave,

Sorry-Jamil is out of town and he forwarded me this message so I can reply-I can do a formal letter if you need but to get you something for today here is what I can send now. Biggest thing from what I see would be maintaining fire department access around the building and between rows of RVs for the new lot area (20 foot clear width, 13 foot clear height). I am also not sure the distance of the roadside display dead end-thát may need a turnaround of some sorts Nothing major that is a flag for us moving forward. Let me know what else you may need or if you want a formal letter.

Thanks,
Bryan

Asst. Chief Bryan Hager
Howell Area Fire Department =