

RECORDED

2003 SEP 24 P 3: 00

NANCY HAVILAND
REGISTER OF DEEDS
LIVINGSTON COUNTY, MI.
48843

LIVINGSTON COUNTY TREASURER'S CERTIFICATE
I hereby certify that there are no TAX
LIENS or TITLES held by the state or any
individual against the within description,
and all TAXES are same as paid for five
years previous to the date of this instrument
or appear on the records in this
office except as stated.

9-24-03
035

8627
Dianne H. Hardy
Dianne H. Hardy, Treasurer
Sec. 185 Act 266, 1233 as Amended
Taxes not examined

5/2
HOMESTEAD DEMANDS NOT EXAMINED

FOURTH AMENDMENT TO MASTER DEED

HOMETOWN VILLAGE OF MARION

Delcor Homes – Hometown Village of Marion, Ltd., a Michigan corporation, whose address is P.O. Box 308, New Hudson, Michigan 48165, Developer of Hometown Village of Marion, a Condominium Project established pursuant to the Master Deed thereof, recorded in Liber 2812, Pages 215-304, inclusive, as amended by First Amendment to the Master Deed, recorded in Liber 3024, Pages 674 – 685, inclusive, as amended by Second Amendment to the Master Deed, recorded in Liber 3577, Pages 473 – 475, inclusive, as amended by Third Amendment to the Master Deed recorded in Liber 3993, Pages 95 – 106, inclusive, Livingston County Records, and known as Hometown Village of Marion, Livingston County Condominium Subdivision Plan No. 198, hereby amends the Master Deed of the Condominium pursuant to the authority reserved in Article VIII of the Master Deed for the purpose of expanding the size of the Condominium to 133 Units.

Said Master Deed is amended in the following manner:

1. The Land which is being added to the Condominium by this Amendment is more particularly described as follows:

A parcel of land in the Northeast 1/4 of Section 11, T2N, R4E, Marion Township, Livingston County, Michigan; the boundary of said parcel described as: Commencing at the Northeast corner of said Section 11; thence S02°53'24"E along the East line of said Section 11 a distance of 1971.92 feet; thence S87°41'26"W 1056.89 feet; thence N02°18'35"W 183.52 feet; thence S87°41'26"W 27.73 feet; thence N02°18'34"W 60.00 feet; thence Northwesterly 109.73 feet along a curve to the left, said curve having a radius of 383.50 feet, a delta angle of 16°23'38", and a chord of 109.36 feet bearing N09°31'52"W to the point of beginning; thence S87°41'25"W 163.89 feet; thence Northwesterly 449.01 feet along a curve to the right, said curve having a radius of 275.00 feet, a delta angle of 93°33'01", and a chord of 400.77 feet bearing N45°33'55"W; thence N04°16'36"E 11.48 feet; thence Northwesterly 353.89 feet along a curve to the left, said

10-11-200-014

curve having a radius of 965.63 feet, a delta angle of 20°59'54", and a chord of 351.92 feet bearing N08°54'24"W; thence Northwesterly 119.80 feet along a curve to the right, said curve having a radius of 638.50 feet, a delta angle of 10°45'01", and a chord of 119.62 feet bearing N86°02'26"W; thence N72°47'28"W 71.01 feet; thence N79°59'30"W 84.97 feet; thence N20°01'37"E 116.86 feet; thence N27°57'02"E 60.22 feet; thence Southeasterly 84.72 feet along a curve to the left, said curve having a radius of 470.00 feet, a delta angle of 10°19'40", and a chord of 84.60 feet bearing S71°44'31"E; thence N13°05'39"E 257.49 feet; thence N88°25'06"E 624.95 feet; thence S19°29'06"W 217.36 feet; thence Northwesterly 15.78 feet along a curve to the right, said curve having a radius of 355.00 feet, a delta angle of 02°32'49", and a chord of 15.78 feet bearing N71°47'19"W; thence S16°56'17"W 168.50 feet; thence Southwesterly 145.85 feet along a curve to the left, said curve having a radius of 186.50 feet, a delta angle of 44°48'26", and a chord of 142.16 feet bearing S84°32'03"W; thence Southwesterly 14.72 feet along a curve to the left, said curve having a radius of 638.50 feet, a delta angle of 01°19'17", and a chord of 14.72 feet bearing S62°47'29"W; thence Southeasterly 333.52 feet along a curve to the right, said curve having a radius of 1242.50 feet, a delta angle of 15°22'47", and a chord of 332.52 feet bearing S10°30'17"E; thence S87°11'06"W 108.50 feet; thence Southeasterly 97.07 feet along a curve to the right, said curve having a radius of 1134.00 feet, a delta angle of 04°54'16", and a chord of 97.04 feet bearing S00°21'24"E; thence Southeasterly 190.61 feet along a curve to the right, said curve having a radius of 105.00 feet, a delta angle of 104°00'34", and a chord of 165.49 feet bearing S49°54'33"E; thence N78°05'09"E 101.48 feet; thence S11°54'51"E 60.00 feet; thence Southeasterly 103.03 feet along a curve to the left, said curve having a radius of 733.00 feet, a delta angle of 08°03'11", and a chord of 102.94 feet bearing S18°17'11"E; thence Southeasterly 30.69 feet along a curve to the right, said curve having a radius of 383.50 feet, a delta angle of 04°35'05", and a chord of 30.68 feet bearing S20°01'14"E to the point of beginning; said parcel containing 9.88 acres more or less.

2. First Amended Article II of said Master Deed of Hometown Village of Marion, as set forth below, shall, upon recordation in the office of the Livingston County Register of Deeds of this Amendment, replace and supersede Article II of the Master Deed as originally recorded, and the originally recorded Article II shall be of no further force or effect.

**FIRST AMENDED ARTICLE II
OF THE MASTER DEED OF HOMETOWN VILLAGE OF MARION**

ARTICLE II

LEGAL DESCRIPTION

The land which is submitted to the Condominium Project established by this Master Deed is described as follows:

A parcel of land in the Northeast 1/4 of Section 11, T2N, R4E, Marion Township, Livingston County, Michigan; the boundary of said parcel described as: Commencing at the Northeast corner of said Section 11; thence S02°53'24"E along the East line of said

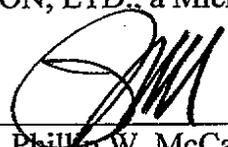
Section 11 a distance of 702.09 feet to the point of beginning of this description; thence S02°53'24"E continuing along said East line a distance of 1269.83 feet; thence S87°41'26"W 1056.89 feet; thence N02°18'35"W 183.52 feet; thence S87°41'26"W 27.73 feet; thence N02°18'34"W 60.00 feet; thence Northwesterly 109.73 feet along a curve to the left, said curve having a radius of 383.50 feet, a delta angle of 16°23'38", and a chord of 109.36 feet bearing N09°31'52"W; thence S87°41'25"W 163.89 feet; thence Northwesterly 449.01 feet along a curve to the right, said curve having a radius of 275.00 feet, a delta angle of 93°33'01", and a chord of 400.77 feet bearing N45°33'55"W; thence N04°16'36"E 11.48 feet; thence Northwesterly 353.89 feet along a curve to the left, said curve having a radius of 965.63 feet, a delta angle of 20°59'54", and a chord of 351.92 feet bearing N08°54'24"W; thence Northwesterly 119.80 feet along a curve to the right, said curve having a radius of 638.50 feet, a delta angle of 10°45'01", and a chord of 119.62 feet bearing N86°02'26"W; thence N72°47'28"W 71.01 feet; thence N79°59'30"W 84.97 feet; thence N20°01'37"E 116.86 feet; thence N27°57'02"E 60.22 feet; thence Southeasterly 84.72 feet along a curve to the left, said curve having a radius of 470.00 feet, a delta angle of 10°19'40", and a chord of 84.60 feet bearing S71°44'31"E; thence N13°05'39"E 257.49 feet; thence N88°25'06"E 656.75 feet; thence S02°53'24"E parallel to said East line a distance of 169.96 feet; thence N87°06'36"E 123.56 feet; thence S39°14'52"W 1.35 feet; thence N87°06'36"E 80.91 feet; thence N39°14'52"E 1.35 feet; thence N87°06'36"E 746.78 feet to the point of beginning; said parcel containing 44.38 acres more or less.

Subject to Gas Storage Agreement and Oil and Gas Lease and Affidavit of Notice of Intention to Retain Mineral Rights in favor of Panhandle Eastern Pipe Line Company, as recited in instruments recorded in Liber 312, Page 612, Liber 345, Page 62, Liber 693, Page 6, and Liber 840, Page 332, Livingston County Records; Ratification and Rental Division Order recorded in Liber 498, Page 124, Livingston County Records; the Terms and Conditions contained in Mineral Deed Interest, as disclosed by instrument recorded in Liber 230, Page 345, Liber 230, Page 489, Liber 230, Page 532, Liber 415, Page 339, Liber 498, Page 127, and Liber 498, Page 129, Livingston County Records. Further subject to all easements and restrictions of record and governmental limitations.

3. Sheets 1, 2, 2A, 3, 4, 5, 6, 7, 8, 9, 10, 11, and 12 of Replat No. 3 of the Condominium Subdivision Plan of Hometown Village of Marion, as attached hereto, shall, upon recordation in the office of the Livingston County Register of Deeds of this Amendment, replace and supercede the originally recorded Sheets of the Condominium Subdivision Plan of Hometown Village of Marion, as amended by Replat No. 1 and Replat No. 2 of said Condominium Subdivision Plan of Hometown Village of Marion, and the aforescribed originally recorded Sheets of the Condominium Subdivision Plan, as amended by Replat No. 1 and Replat No. 2, shall be of no further force and effect.

In all other respects, other than as herein above indicated, the initial Master Deed of Hometown Village of Marion, including the Bylaws, the Condominium Subdivision Plan, and the Township of Marion Planned Unit Development Agreement, respectively attached thereto as Exhibits "A", "B" and "C", recorded and amended as aforesaid, is hereby ratified, confirmed and redeclared.

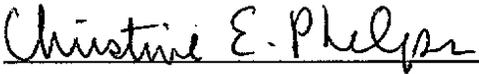
DELCOR HOMES- HOMETOWN VILLAGE OF MARION, LTD., a Michigan corporation

By: 
Phillip W. McCafferty, President

STATE OF MICHIGAN)
)SS
COUNTY OF OAKLAND)

On this 3rd day of September, 2003, the foregoing Fourth Amendment to the Master Deed of Hometown Village of Marion was acknowledged before me, a notary public, by Phillip W. McCafferty, the President of Delcor Homes – Hometown Village of Marion, Ltd., a Michigan corporation, on behalf of the corporation.

CHRISTINE E. PHELPS
NOTARY PUBLIC LIVINGSTON CO., MI
MY COMMISSION EXPIRES Jan 27, 2007
Acting in Oakland County


Notary Public, Livingston County, MI
My commission expires: 1/27/07

FOURTH AMENDMENT TO MASTER DEED
Drafted By and When Recorded Return To:
✓ Samuel K. Hodgdon, Esq.
Delcor Homes – Hometown Village of Marion, Ltd.
P.O. Box 308
New Hudson, MI 48165
(248) 684-1234

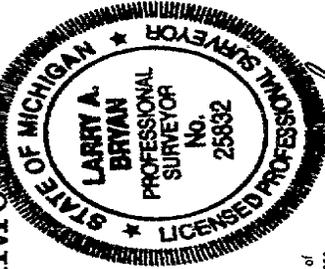
LIVINGSTON COUNTY CONDOMINIUM SUBDIVISION PLAN NO. 198
 EXHIBIT B TO THE MASTER DEED OF
 REPLAT NO. 3
 HOMETOWN VILLAGE OF MARION

DEVELOPER:

DELCOR HOMES--HOMETOWN
 VILLAGE OF MARION LTD
 P.O. BOX 308
 NEW HUDSON, MI 48165
 PHONE: (248) 684-1234

SURVEYOR & ENGINEER:

KEBS, INC.
 2116 HASLETT ROAD
 HASLETT, MI 48840
 PHONE: (517) 339-1014



LEGAL DESCRIPTION OF
 EXISTING DEVELOPMENT

A parcel of land in the Northeast 1/4 of Section 11, T2N, R4E, Marion Township, Livingston County, Michigan, the Surveyed Boundary of said parcel described as: Commencing at the Northeast corner of said Section 11; thence S02°53'24"E along the East line of said Section 11 a distance of 702.09 feet to the point of beginning of this description; thence S02°53'24"E continuing along said East line 1289.83 feet; thence S87°41'26"W 2525.08 feet to the North-South 1/4 line of said Section 11; thence N03°29'57"W along said North-South 1/4 line 1450.58 feet; thence N88°25'06"E 1565.55 feet; thence S02°53'24"E parallel with said East line 169.96 feet; thence N87°06'36"E 123.56 feet; thence S3°91'45"W 1.35 feet; thence N87°06'36"E 80.91 feet; thence N87°06'36"E 1.35 feet; thence N87°06'36"E 746.78 feet to the point of beginning, said parcel containing 79.30 acres more or less; said parcel subject to all easements and restrictions if any.

PHASE I & PHASE IIA
 MUST BE BUILT

A parcel of land in the Northeast 1/4 of Section 11, T2N, R4E, Marion Township, Livingston County, Michigan; the boundary of said parcel described as: Commencing at the Northeast corner of said Section 11; thence S02°53'24"E along the East line of said Section 11 a distance of 702.09 feet to the point of beginning of this description; thence S02°53'24"E continuing along said East line a distance of 1289.83 feet; thence S87°41'26"W 2525.08 feet; thence S02°53'24"E 183.52 feet; thence S87°41'26"W 27.73 feet; thence N02°16'33"W 60.00 feet; thence Northwesterly 109.73 feet along a curve to the left, said curve having a radius of 383.50 feet, a delta angle of 162°33'36", and a chord of 109.36 feet bearing N09°31'52"W; thence S87°41'26"W 163.89 feet; thence Northwesterly 448.01 feet along a curve to the right, said curve having a radius of 275.00 feet, a delta angle of 95°33'01", and a chord of 400.77 feet bearing N45°33'35"W; thence N04°16'36"E 11.48 feet; thence Northwesterly 353.89 feet along a curve to the left, said curve having a radius of 965.63 feet, a delta angle of 20°39'54", and a chord of 351.92 feet bearing N08°54'24"W; thence Northwesterly 119.80 feet along a curve to the right, said curve having a radius of 638.50 feet, a delta angle of 10°45'01", and a chord of 119.62 feet bearing N86°02'28"W; thence N27°42'28"W 71.01 feet; thence N79°59'30"W 84.97 feet; thence N20°01'37"E 116.86 feet; thence N27°57'02"E 60.22 feet; thence Southwesterly 84.72 feet along a curve to the left, said curve having a radius of 470.00 feet, a delta angle of 10°19'40", and a chord of 84.60 feet bearing S71°44'31"E; thence N13°05'39"E 257.49 feet; thence N88°25'06"E 656.75 feet; thence S02°53'24"E parallel to said East line a distance of 169.96 feet; thence N87°06'36"E 123.56 feet; thence S3°91'45"W 1.35 feet; thence N87°06'36"E 80.91 feet; thence N3°91'45"E 1.35 feet; thence N87°06'36"E 746.78 feet to the point of beginning; said parcel containing 44.38 acres more or less; said parcel subject to all easements and restrictions if any.

PHASE IIB

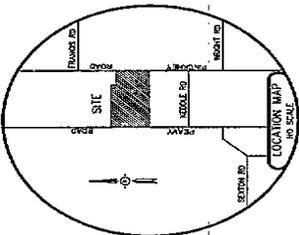
AREA FOR FUTURE DEVELOPMENT

A parcel of land in the Northeast 1/4 of Section 11, T2N, R4E, Marion Township, Livingston County, Michigan; the boundary of said parcel described as: Commencing at the Northeast corner of said Section 11; thence S02°53'24"E along the East line of said Section 11 a distance of 1971.92 feet; thence S87°41'26"W 1056.89 feet to the point of beginning of this description; thence S87°41'26"W 497.02 feet; thence N22°37'31"E 247.17 feet; thence Northwesterly 273.48 feet along a curve to the right, said curve having a radius of 440.00 feet, a delta angle of 35°38'42", and a chord of 269.10 feet bearing N49°41'29"W; thence S57°56'59"W 107.96 feet; thence Northwesterly 313.76 feet along a curve to the right, said curve having a radius of 552.00 feet, a delta angle of 32°34'01", and a chord of 309.55 feet bearing N15°48'45"W; thence Northwesterly 319.96 feet along a curve to the left, said curve having a radius of 688.50 feet, a delta angle of 26°37'40", and a chord of 317.10 feet bearing N10°01'14"W; thence N20°03'21"E 44.92 feet; thence S79°59'30"E 84.97 feet; thence S72°42'28"E 71.01 feet; thence Southwesterly 119.80 feet along a curve to the left, said curve having a radius of 638.50 feet, a delta angle of 10°45'01", and a chord of 119.62 feet bearing S88°02'28"E; thence Southwesterly 353.89 feet along a curve to the right, said curve having a radius of 965.63 feet, a delta angle of 20°39'54", and a chord of 351.92 feet bearing S08°54'24"E; thence S04°16'35"W 11.48 feet; thence Northwesterly 448.01 feet along a curve to the left, said curve having a radius of 275.00 feet, a delta angle of 95°33'01", and a chord of 400.77 feet bearing S45°33'35"E; thence N87°41'26"E 163.89 feet; thence Southwesterly 109.73 feet along a curve to the right, said curve having a radius of 383.50 feet, a delta angle of 162°33'36", and a chord of 109.36 feet bearing S09°31'52"E; thence S02°18'34"E 60.00 feet; thence N87°41'26"E 27.73 feet; thence S02°18'35"E 183.52 feet to the point of beginning; said parcel containing 8.11 acres more or less; said parcel subject to all easements and restrictions if any.

PHASE IIC

AREA FOR FUTURE DEVELOPMENT

A parcel of land in the Northeast 1/4 of Section 11, T2N, R4E, Marion Township, Livingston County, Michigan; the boundary of said parcel described as: Commencing at the Northeast corner of said Section 11; thence S02°53'24"E along the East line of said Section 11 a distance of 1971.92 feet; thence S87°41'26"W 1553.91 feet to the point of beginning of this description; thence S87°41'26"W 971.17 feet to a point on the North-South 1/4 line of said Section 11; thence N03°29'57"W along said North-South 1/4 line a distance of 1450.58 feet; thence N88°25'06"E 932.80 feet; thence S15°05'39"W 257.49 feet; thence Northwesterly 84.72 feet along a curve to the right, said curve having a radius of 470.00 feet, a delta angle of 10°19'40", and a chord of 84.60 feet bearing N71°44'31"E; thence S27°57'02"W 60.22 feet; thence S20°03'21"E 27.73 feet; thence N79°59'30"W 44.92 feet; thence S20°03'21"E 106.42 feet; thence Southwesterly 319.96 feet along a curve to the right, said curve having a radius of 688.50 feet, a delta angle of 26°37'40", and a chord of 317.10 feet bearing S10°01'14"E; thence Southwesterly 313.76 feet along a curve to the left, said curve having a radius of 552.00 feet, a delta angle of 32°34'01", and a chord of 309.55 feet bearing S15°48'45"E; thence N57°56'59"E 107.96 feet; thence Southwesterly 273.48 feet along a curve to the left, said curve having a radius of 440.00 feet, a delta angle of 35°38'42", and a chord of 269.10 feet bearing S49°41'29"E; thence S22°37'31"W 247.17 feet to the point of beginning; said parcel containing 27.40 acres more or less; said parcel subject to all easements and restrictions if any.



SHEET INDEX

- *1. COVER SHEET
- *2. SURVEY PLAN
- *2A. SITE & UTILITY INDEX
- *3. SITE PLAN - PHASE I
- *4. SITE PLAN - PHASE I
- *5. SITE PLAN - PHASE IIA
- *6. SITE PLAN - PHASE IIA
- *7. UTILITY PLAN - PHASE I
- *8. UTILITY PLAN - PHASE I
- *9. UTILITY PLAN - PHASE IIA
- *10. UTILITY PLAN - PHASE IIA
- *11. CURVE TABLE - PHASE I & IIA
- *12. COORDINATE AND AREA TABLE PHASE I & IIA

NOTE:
 The (*) shown in the sheet index indicates amended sheets or new sheets added.

HOMETOWN VILLAGE OF MARION

NORTH 1/4 CORNER
SECTION 11 T2N, R4E
LSC # 1--29, LIVINGSTON
COUNTY RECORDS

NORTH LINE SECTION 11
N88°29'47"E 2547.06'



SURVEYOR'S CERTIFICATE

I, Larry A. Bryan, Professional Surveyor of the State of Michigan, hereby certify that the subdivision plan known as Hometown County Condominium Subdivision Plan No. 148, as shown on the accompanying drawings, represents a survey on the ground made under my direction, that there are no existing encroachments upon the lands and property herein described.

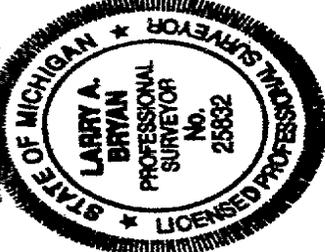
That the required monuments and iron markers have been located in the ground as required by the rules promulgated under Section 142, of Act No. 59 of the Public Acts of 1978.

That the accuracy of this survey is within the limits required by the rules promulgated under Section 142 of Act No. 59 of the Public Acts of 1978.

That the bearings, as shown, are noted on survey plan as required by the rules promulgated under Section 142 of Act No. 59 of the Public Acts of 1978.

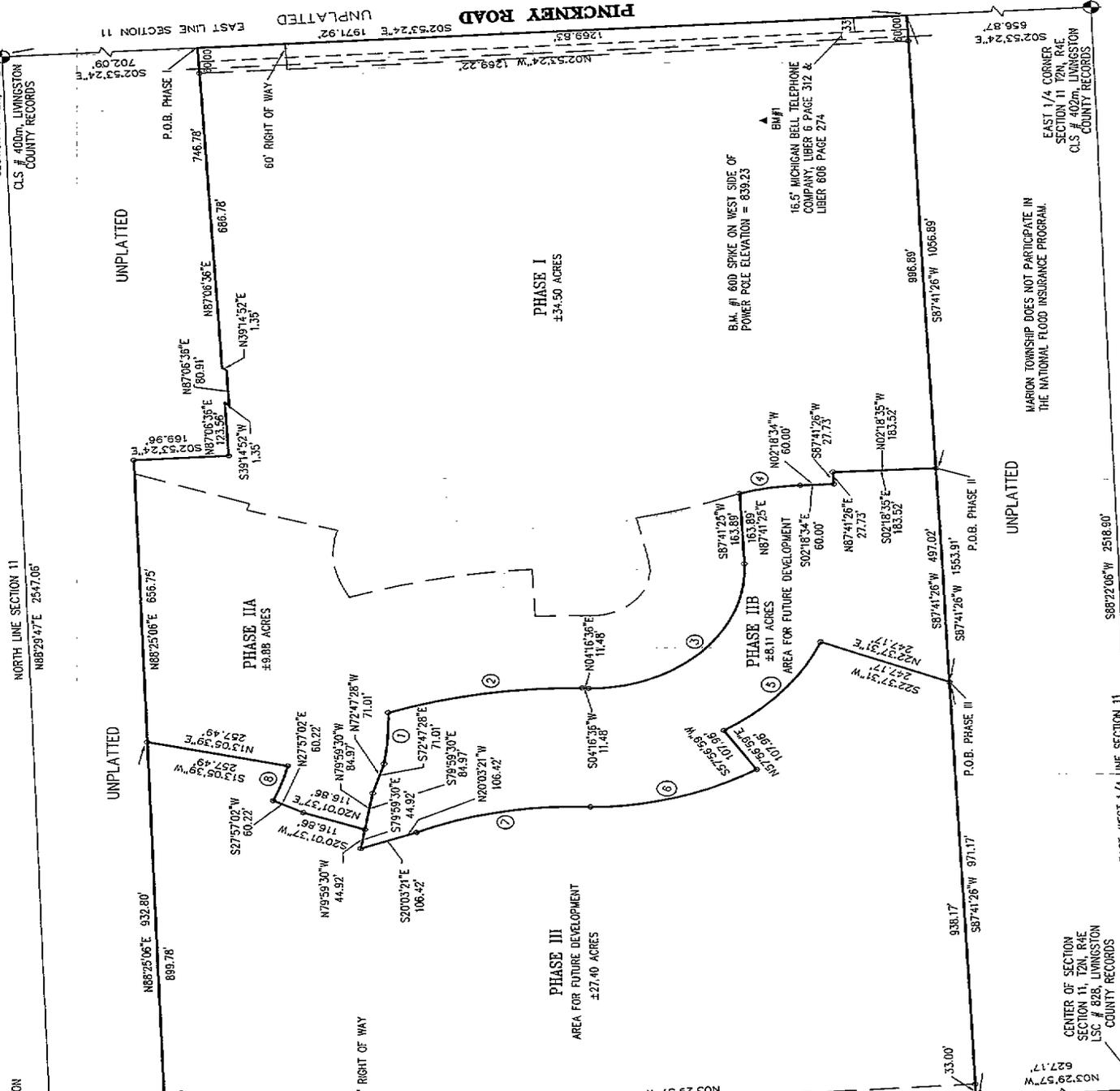
Larry A. Bryan
LARRY A. BRYAN
PROFESSIONAL SURVEYOR NO. 25832
418 HUSLETT ROAD
HUSLETT, MICHIGAN 48840

Date: 8-27-03
TITLE COMMITTEE NO. 44888
EFFECTIVE DATE: FEBRUARY 8, 1997



CURVE	DELTA	RADIUS	LENGTH	CHORD	BEARING
1	10°45'01"	638.50	119.60	119.62	N85°02'26"W
2	20°59'51"	965.63	353.89	351.92	N08°34'24"W
3	9°33'30"	276.00	449.00	400.77	N45°33'55"W
4	16°23'38"	383.50	109.73	108.36	N09°31'52"W
5	35°36'47"	440.00	273.48	269.10	S49°17'29"E
6	52°34'01"	522.00	315.76	309.65	S15°48'45"E
7	26°37'40"	688.50	319.98	317.10	N10°01'14"W
8	10°19'40"	470.00	84.72	84.60	S71°44'31"E

PREPARED BY:
KEES, INC.
2119 HUSLETT ROAD
HUSLETT, MICHIGAN 48840
PHONE: (616) 368-0114
92-3-6046



EAST-WEST 1/4 LINE SECTION 11
S86°22'06"W 2518.90'

CENTER OF SECTION
SECTION 11 T2N, R4E
LSC # 828, LIVINGSTON
COUNTY RECORDS

MARION TOWNSHIP DOES NOT PARTICIPATE IN
THE NATIONAL FLOOD INSURANCE PROGRAM.

EAST 1/4 CORNER
SECTION 11 T2N, R4E
CLS # 402m, LIVINGSTON
COUNTY RECORDS

802°53'24"E
656.87'

S87°41'26"W 1056.89'

896.80'

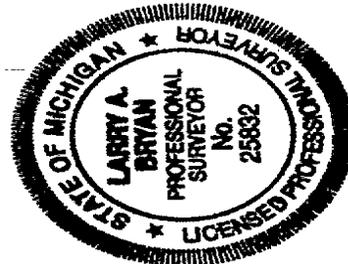
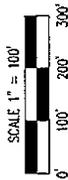
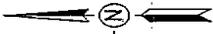
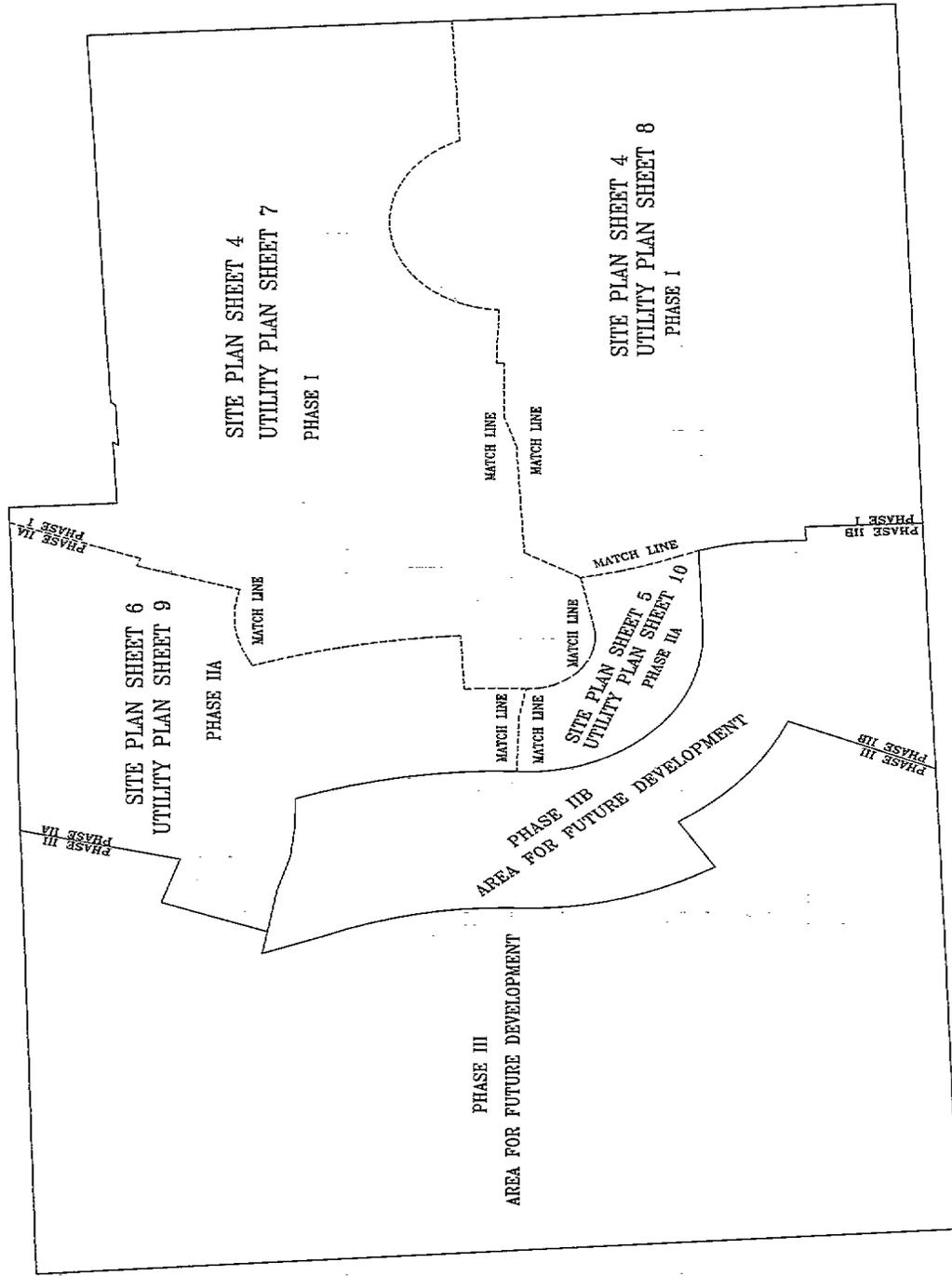
N02°18'35"W
183.52'

S87°41'26"W
27.73'

N07°18'34"W
60.00'

S87°41'26"W
27.73'

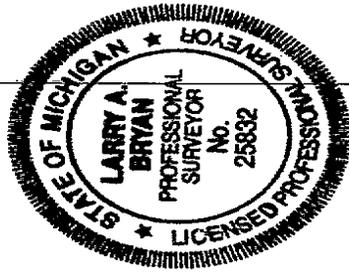
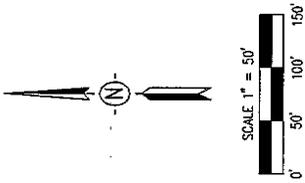
HOMETOWN VILLAGE OF MARION



Larry A. Bryan

PREPARED BY:
KEBS, INC.
2116 HASLETT ROAD
HASLETT, MICHIGAN, 48840
PHONE: (517) 339-1014
99-S-60426

HOMETOWN VILLAGE OF MARION

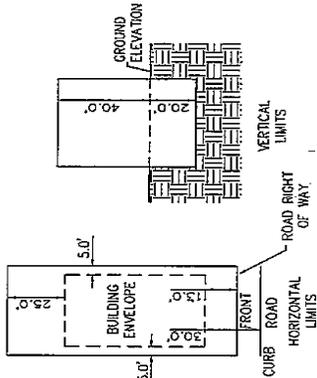
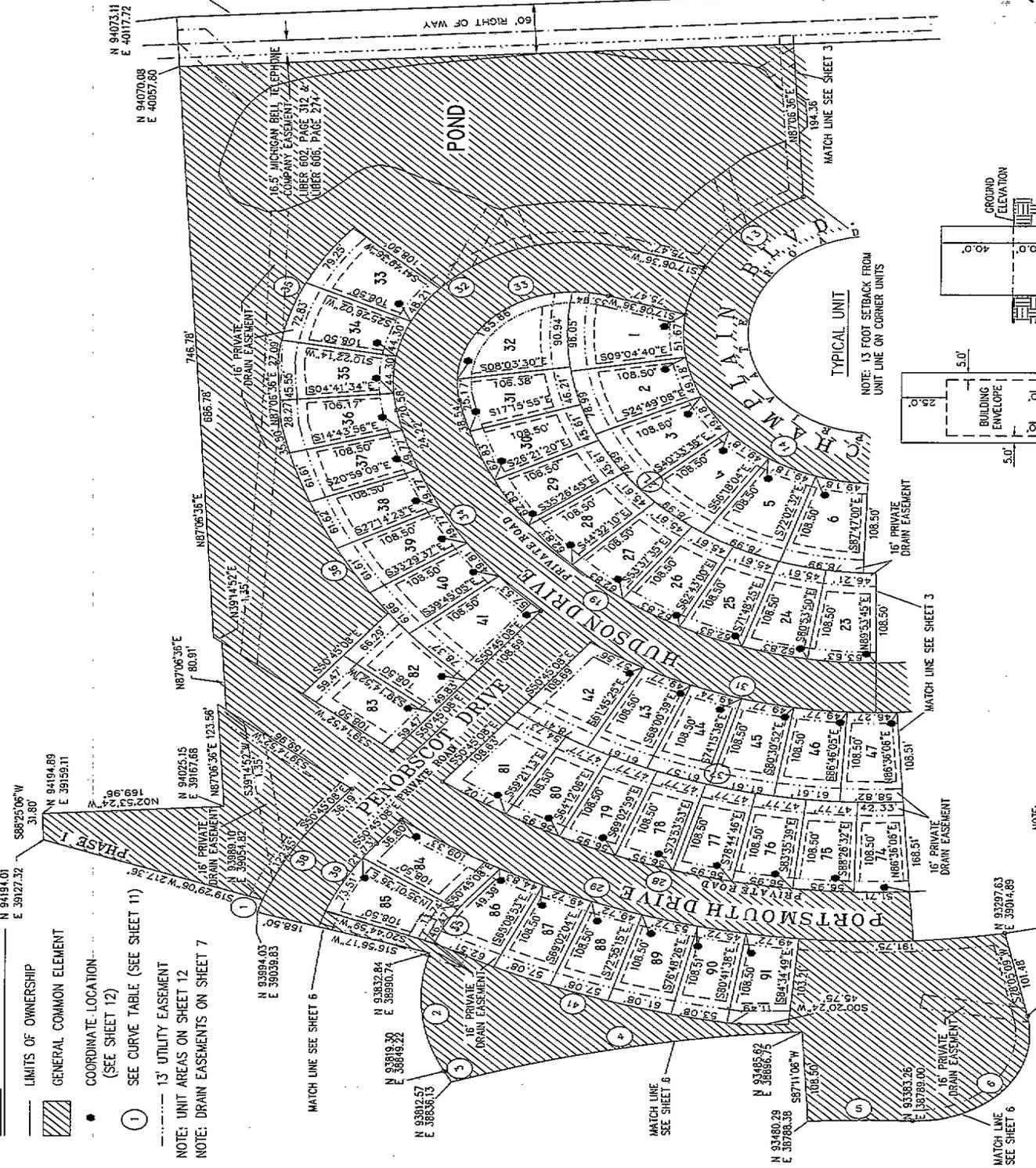


Larry A. Bryan

MUST BE BUILT
 PROPOSED AUGUST 27, 2003
 SITE PLAN - PHASE I
 SHEET 4 OF 12

EAST LINE SECTION 11

PINCKNEY ROAD

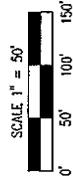
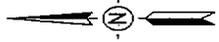


- LEGEND**
- LIMITS OF OWNERSHIP
 - ▨ GENERAL COMMON ELEMENT
 - COORDINATE LOCATION (SEE SHEET 12)
 - ① SEE CURVE TABLE (SEE SHEET 11)
 - 13' UTILITY EASEMENT
 - UNIT AREAS ON SHEET 12
 - DRAIN EASEMENTS ON SHEET 7

NOTE: AS PROVIDED IN THE MASTER DEED, ALL GENERAL COMMON ELEMENTS AND UNSOLD UNITS ARE CONVEYABLE AREAS WITHIN WHICH UNITS AND COMMON ELEMENTS MAY BE MODIFIED, MOVED, DELETED, AND CREATED, ALL IN THE DEVELOPER'S SOLE DISCRETION.

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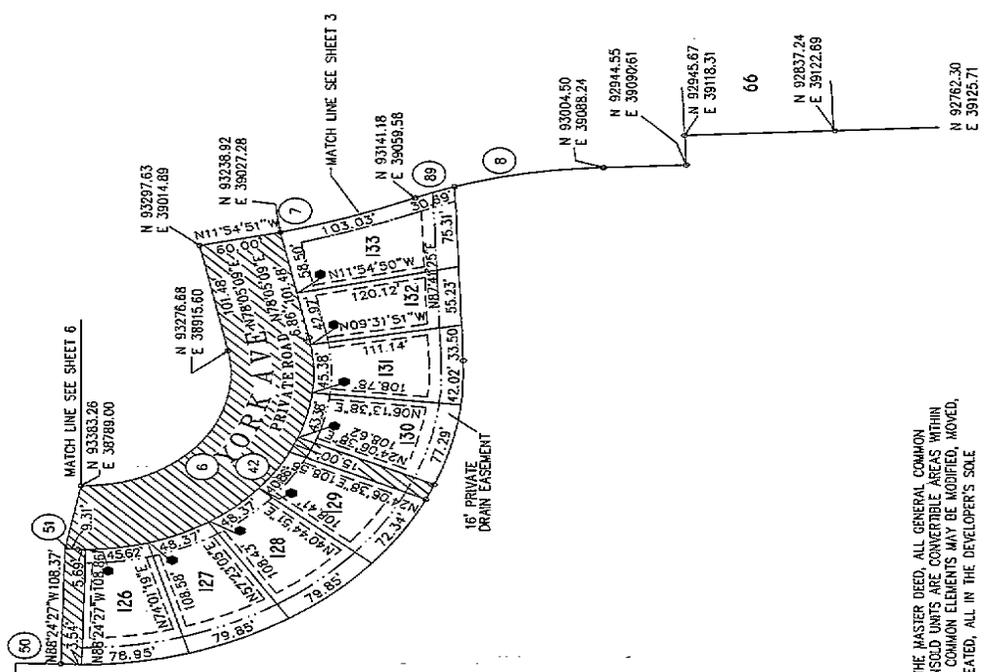
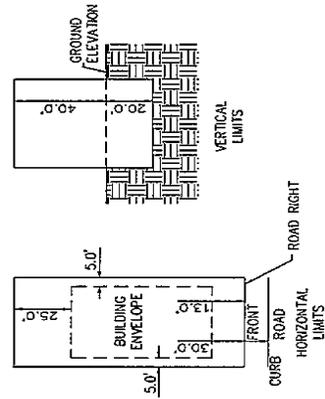
HOMETOWN VILLAGE OF MARION



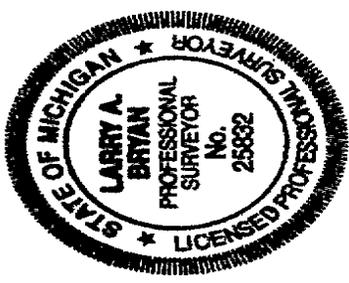
- LEGEND**
- LIMITS OF OWNERSHIP
 - ▨ GENERAL COMMON ELEMENT
 - COORDINATE LOCATION (SEE SHEET 12)
 - ① SEE CURVE TABLE (SEE SHEET 11)

--- 13' UTILITY EASEMENT
 NOTE: UNIT AREAS ON SHEET 12
 NOTE: DRAIN EASEMENTS ON SHEET 10

TYPICAL UNIT
 NOTE: 13 FOOT SETBACK FROM ROAD ON ALL CORNER LOTS



NOTE:
 AS PROVIDED IN THE MASTER DEED, ALL GENERAL COMMON ELEMENTS AND UNSOLD UNITS ARE CONVERTIBLE AREAS WITHIN WHICH UNITS AND COMMON ELEMENTS MAY BE MODIFIED, MOVED, DELETED, AND CREATED, ALL IN THE DEVELOPER'S SOLE DISCRETION.

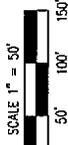
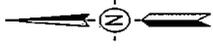


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MUST BE BUILT
 PROPOSED AUGUST 27, 2003
 SITE PLAN - PHASE IIA
 SHEET 5 OF 12

HOMETOWN VILLAGE OF MARION



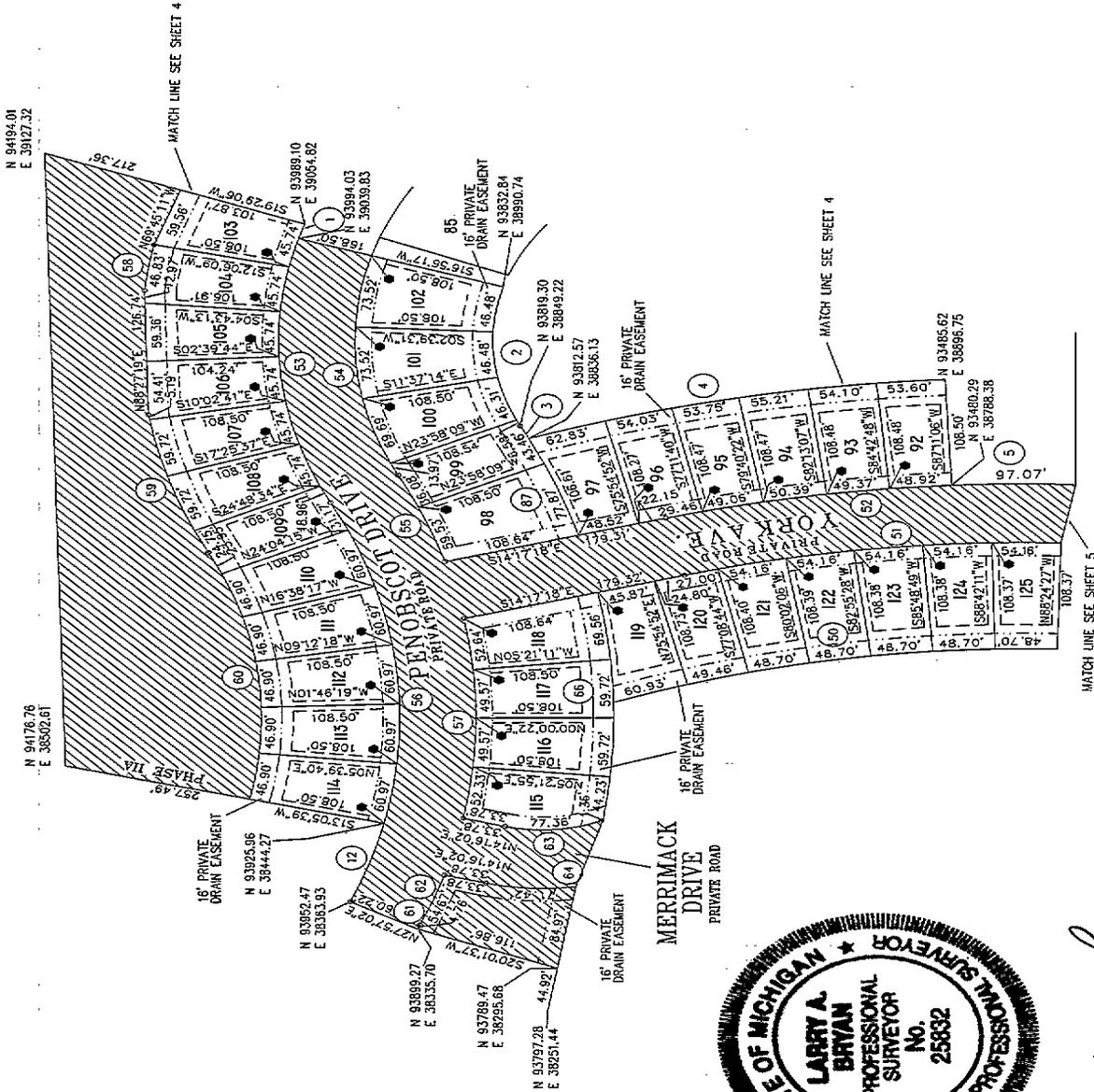
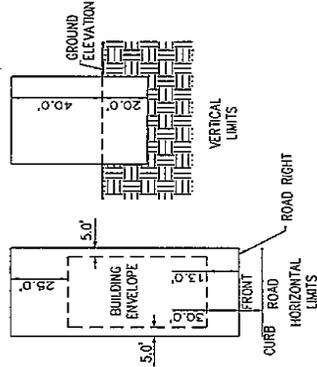
LEGEND

- LIMITS OF OWNERSHIP
- ▨ GENERAL COMMON ELEMENT
- COORDINATE LOCATION (SEE SHEET 12)
- ① SEE CURVE TABLE (SEE SHEET 11)
- 13' UTILITY EASEMENT

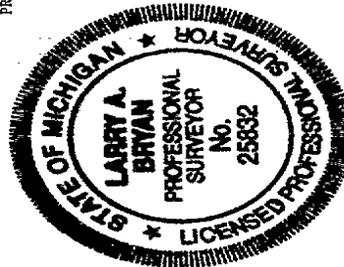
NOTE: UNIT AREAS ON SHEET 12
 NOTE: DRAIN EASEMENTS ON SHEET 9

TYPICAL UNIT

NOTE: 13 FOOT SETBACK FROM ALL ROADS ON CORNER LOTS



NOTE: AS PROVIDED IN THE MASTER DEED, ALL GENERAL COMMON ELEMENTS AND UNSOLD UNITS ARE CONVERTIBLE AREAS WITHIN WHICH UNITS AND COMMON ELEMENTS MAY BE MODIFIED, DELETED, AND CREATED, ALL IN THE DEVELOPER'S SOLE DISCRETION.



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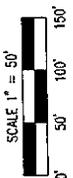
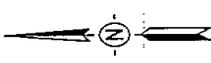
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MUST BE BUILT
 PROPOSED AUGUST 27, 2003
 SITE PLAN - PHASE IIA
 SHEET 6 OF 12

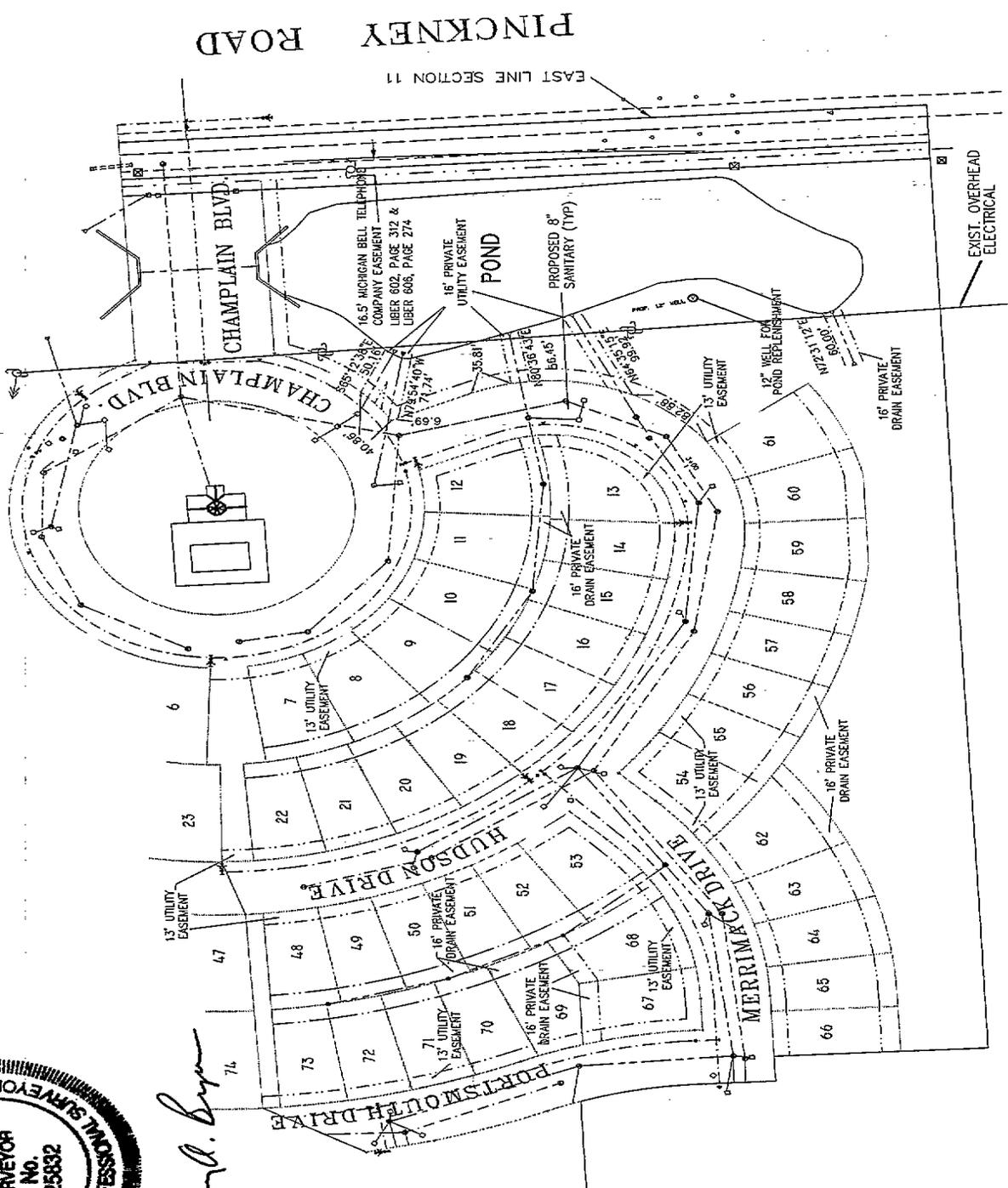
HOMETOWN VILLAGE OF MARION



Larry A. Bryan



- LEGEND**
- DEED LINE
 - - - DISTANCE NOT TO SCALE
 - SANITARY MANHOLE
 - DRAINAGE MANHOLE
 - CATCH BASIN
 - FIRE HYDRANT
 - TELEPHONE RISER BOX
 - FENCE
 - UTILITY POLE
 - GUY WIRE
 - UTILITY PEDestal
 - EXT. WATER MAIN
 - EXT. SANITARY SEWER
 - EXT. STORM SEWER
 - PROPOSED WATER MAIN
 - PROPOSED SANITARY SEWER
 - PROPOSED STORM SEWER
 - PROPOSED M.H.
 - PROPOSED C.B.
 - PROPOSED FIRE HYDRANT

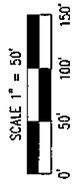
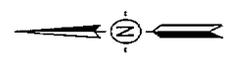
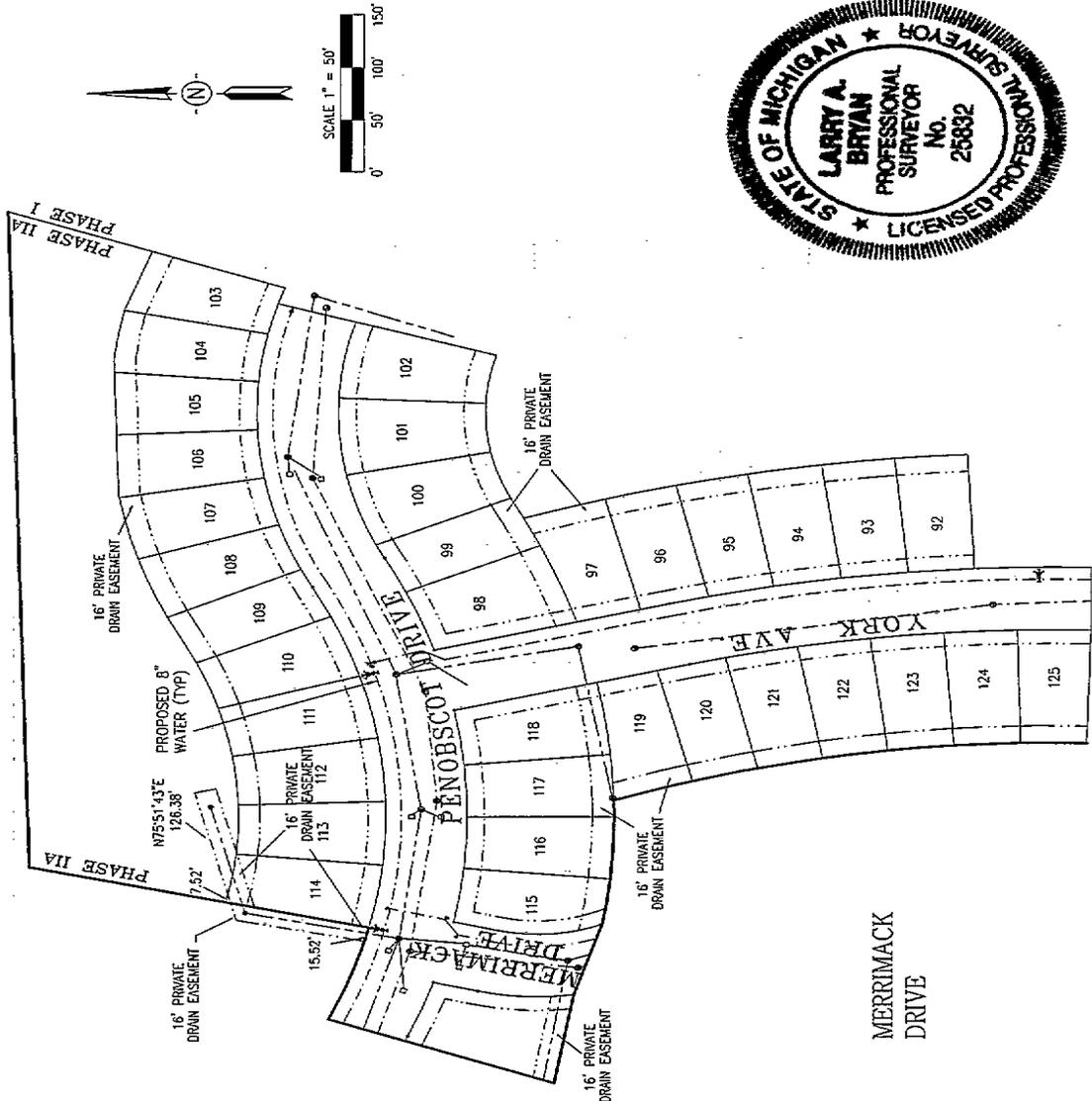


	WHOG	MUST BE BUILT
WATER	WHOG	MUST BE BUILT
SANITARY SEWER	WHOG	MUST BE BUILT
GAS	CONSUMERS ENERGY	MUST BE BUILT
ELECTRIC	DE TROIT Edison	MUST BE BUILT
CABLE	MEDIA ONE	MUST BE BUILT
TELEPHONE	AMERTEC	MUST BE BUILT

PROPOSED AUGUST 27, 2003
 UTILITY PLAN - PHASE 1
 SHEET 8 OF 12

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HOMETOWN VILLAGE OF MARION



Larry A. Bryan

PROPOSED AUGUST 27, 2003
UTILITY PLAN - PHASE IIA
SHEET 9 OF 12

- LEGEND**
- = DEED LINE
 - = DISTANCE NOT TO SCALE
 - ⊙ = SANITARY MANHOLE
 - ⊕ = DRAINAGE MANHOLE
 - ⊕ = CATCHBASIN
 - ⊕ = FIRE HYDRANT
 - ☆ = LIGHT POLE
 - ⊕ = TELEPHONE RISER BOX
 - ⊕ = UTILITY POLE
 - ← = GUY WIRE
 - ⊕ = UTILITY PEDESTAL
 - = EXT. WATER MAIN
 - = EXT. SANITARY SEWER
 - = EXT. STORM SEWER
 - = PROPOSED WATER MAIN
 - = PROPOSED SANITARY SEWER
 - = PROPOSED STORM SEWER
 - = PROPOSED M.H.
 - = PROPOSED C.B.
 - ⊕ = PROPOSED FIRE HYDRANT

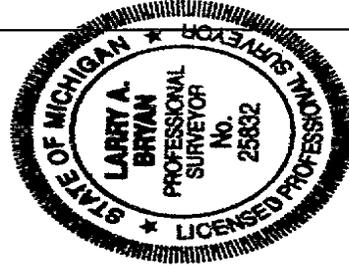
	MHOOG	MUST BE BUILT
WATER	MHOOG	MUST BE BUILT
SANITARY SEWER	MHOOG	MUST BE BUILT
GAS	CONSUMERS ENERGY	MUST BE BUILT
ELECTRIC	DETROIT EDISON	MUST BE BUILT
CABLE	MEDIA ONE	MUST BE BUILT
TELEPHONE	AMERITEC	MUST BE BUILT

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HASLETT, MICHIGAN, 48840
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HOMETOWN VILLAGE OF MARION

CURVE	CURVE TABLE				BEARING
	DELTA	RADIUS	LENGTH	CHORD	
1	2°32'49"	355.00	15.78	15.78	N71°47'19"W
2	44°48'26"	186.50	145.85	142.16	S84°32'03"W
3	1°19'17"	638.50	14.72	14.72	N62°47'29"E
4	15°22'47"	1242.50	333.52	332.52	N10°30'17"W
5	4°54'16"	1134.00	97.07	97.04	N00°21'24"W
6	104°00'34"	105.00	190.61	165.49	S49°54'33"E
7	8°03'11"	733.00	103.03	102.94	S18°17'11"E
8	20°58'44"	383.50	140.42	139.64	N11°49'24"W
9	35°36'42"	440.00	273.48	269.10	S49°41'29"E
10	32°34'01"	552.00	313.76	309.55	S15°48'45"E
11	26°37'40"	688.50	319.98	317.10	N10°01'14"W
12	10°19'40"	470.00	84.72	84.60	S71°44'31"E
13	40°46'03"	179.00	127.36	124.69	N42°51'30"W
14	200°42'13"	179.00	627.03	352.17	S02°33'24"E
15	40°46'03"	179.00	127.36	124.69	N37°04'41"E
16	118°47'57"	168.50	349.37	290.07	N36°30'34"E
17	118°47'57"	108.50	224.97	186.78	N36°30'34"E
18	35°18'53"	456.00	281.06	276.63	S66°28'01"E
19	162°24'07"	396.00	1122.44	782.68	S02°53'24"E
20	101°47'02"	287.50	510.73	446.18	S54°57'09"E
21	100°10'06"	287.50	502.63	441.02	S49°58'48"W
22	23°20'22"	277.00	112.84	112.06	N65°35'30"E
23	35°31'50"	564.50	350.06	344.48	S65°10'34"E
24	36°24'13"	438.50	276.61	273.94	N69°29'19"E
25	42°41'40"	330.00	245.90	240.25	N66°20'35"E
26	42°41'40"	270.00	201.19	196.57	N66°20'35"E
27	20°00'12"	443.50	154.84	154.05	N12°18'40"W
28	59°00'21"	673.00	693.09	662.86	S07°11'24"W
29	46°28'14"	733.00	594.51	578.35	S13°40'01"W
30	36°55'45"	564.50	363.84	357.58	S22°43'33"E
31	76°42'27"	456.00	610.49	565.91	S02°52'41"E
32	118°47'57"	168.50	349.37	290.07	N42°17'23"W
33	118°47'57"	108.50	224.97	186.78	N42°17'23"W
34	35°17'27"	456.00	280.87	276.45	S60°39'56"W
35	37°03'33"	277.00	179.17	176.06	N66°42'12"W
36	36°34'13"	564.50	360.30	354.22	S60°34'45"W
37	38°36'24"	564.50	363.65	376.31	S16°43'53"W
38	19°45'46"	355.00	122.45	121.84	N60°38'01"W
39	22°18'55"	295.00	114.87	114.14	N61°54'26"W
40	18°29'53"	186.50	60.21	59.95	N60°00'05"W
41	20°35'05"	841.50	302.32	300.70	S18°48'59"W
42	104°00'34"	165.00	299.53	260.06	S49°54'33"E
43	24°49'35"	275.00	119.16	118.23	S79°51'56"E
44	65°32'12"	275.00	314.55	297.68	S31°33'30"E
45	92°42'54"	380.00	614.91	549.98	S45°57'07"E

CURVE	CURVE TABLE				BEARING
	DELTA	RADIUS	LENGTH	CHORD	
46	24°56'06"	552.00	240.23	238.34	S79°50'32"E
47	24°48'44"	440.00	190.54	189.06	S79°54'12"E
48	32°17'28"	440.00	247.98	244.71	S15°44'24"E
49	22°59'02"	857.13	343.84	341.54	N11°05'12"W
50	20°59'54"	965.63	353.89	351.92	N08°54'24"W
51	16°23'02"	1074.00	307.11	306.07	N06°05'47"W
52	11°28'46"	1134.00	227.20	226.82	N08°32'55"W
53	44°48'26"	355.00	277.62	270.60	S84°32'04"W
54	44°48'26"	295.00	230.70	224.87	S84°32'04"W
55	10°20'10"	530.00	95.61	95.48	N67°17'55"E
56	40°57'48"	470.00	336.02	328.91	N82°36'45"E
57	22°03'57"	530.00	204.12	202.86	N89°59'22"E
58	54°7'22"	463.50	46.83	46.81	N80°47'32"W
59	18°26'24"	463.50	149.17	148.53	S71°21'02"W
60	40°57'48"	361.50	258.45	252.98	N82°36'45"E
61	0°49'01"	333.50	4.76	4.76	N66°59'12"W
62	5°54'35"	530.00	54.67	54.64	S69°31'59"E
63	36°56'13"	120.00	77.36	76.03	S04°12'04"E
64	36°56'14"	180.00	116.04	114.04	S04°12'04"E
65	23°04'31"	797.13	321.04	318.87	N11°07'56"W
66	20°55'47"	638.50	233.24	231.95	N88°52'10"E
67	47°07'44"	280.00	230.32	223.88	N64°07'33"E
68	47°07'44"	220.00	180.96	175.90	N64°07'33"E
69	43°10'20"	388.50	292.73	285.86	N66°06'16"E
70	88°48'37"	502.00	778.12	702.53	S47°54'16"E
71	88°48'37"	393.50	609.94	550.69	S47°54'16"E
72	24°44'10"	193.00	83.32	82.68	N14°40'39"W
73	24°44'10"	133.00	57.42	56.97	N14°40'39"W
74	27°54'47"	715.00	348.33	344.90	S13°05'21"E
75	27°54'47"	655.00	319.10	315.95	S13°05'21"E
76	18°17'11"	828.83	264.53	263.40	S09°58'59"E
77	90°38'50"	225.00	355.97	319.99	S48°48'22"E
78	35°06'06"	580.00	355.33	349.80	N16°41'00"W
79	35°06'06"	520.00	318.57	313.61	N16°41'00"W
80	51°40'41"	333.50	300.80	290.71	S86°45'57"W
81	116°55'16"	393.50	803.00	670.74	S54°57'41"W
82	7°57'06"	361.50	50.17	50.13	S70°33'15"E
83	116°55'16"	502.00	1024.41	855.69	S54°57'41"W
84	54°06'15"	333.50	314.92	303.35	S23°33'10"W
85	51°36'10"	225.00	202.64	195.86	S22°18'08"W
86	36°56'27"	411.50	265.31	260.74	N16°25'48"W
87	10°53'16"	638.50	121.33	121.15	N67°34'29"E
88	88°48'37"	333.50	516.94	466.72	S47°54'16"E
89	04°35'08"	383.50	30.69	30.68	S20°01'12"E



Larry A. Bryan

HOMETOWN VILLAGE OF MARION

COORDINATE TABLE		
LOT NUMBER	NORTHING	EASTING
1	N 93596.95	E 39780.94
2	N 93596.22	E 39709.45
3	N 93581.93	E 39662.55
4	N 93555.16	E 39621.77
5	N 93518.78	E 39588.77
6	N 93474.66	E 39567.41
7	N 93447.41	E 39573.84
8	N 93305.66	E 39599.63
9	N 93272.45	E 39635.99
10	N 93250.26	E 39679.30
11	N 93240.58	E 39731.39
12	N 93245.23	E 39778.70
13	N 93025.32	E 39716.90
14	N 93032.54	E 39592.62
15	N 93051.00	E 39592.62
16	N 93078.96	E 39545.53
17	N 93115.69	E 39483.65
18	N 93160.25	E 39438.32
19	N 93211.49	E 39400.70
20	N 93268.09	E 39371.77
21	N 93328.59	E 39352.26
22	N 93391.43	E 39342.69
23	N 93418.75	E 39341.69
24	N 93482.12	E 39346.60
25	N 93543.11	E 39361.49
26	N 93600.99	E 39385.75
27	N 93654.32	E 39418.85
28	N 93701.74	E 39459.90
29	N 93742.08	E 39508.04
30	N 93774.31	E 39561.89

COORDINATE TABLE		
LOT NUMBER	NORTHING	EASTING
31	N 93797.62	E 39620.16
32	N 93809.46	E 39662.48
33	N 93826.57	E 39791.92
34	N 93866.75	E 39709.78
35	N 93888.94	E 39665.66
36	N 93860.48	E 39621.73
37	N 93845.22	E 39574.38
38	N 93824.89	E 39528.98
39	N 93799.75	E 39486.05
40	N 93770.05	E 39446.10
41	N 93730.58	E 39404.30
42	N 93635.25	E 39335.98
43	N 93590.21	E 39314.87
44	N 93543.17	E 39298.79
45	N 93494.62	E 39287.93
46	N 93445.18	E 39282.42
47	N 93398.93	E 39282.16
48	N 93337.24	E 39289.17
49	N 93291.46	E 39300.03
50	N 93247.03	E 39315.55
51	N 93204.45	E 39335.57
52	N 93164.34	E 39359.74
53	N 93118.92	E 39394.76
54	N 93041.39	E 39482.76
55	N 93015.87	E 39525.46
56	N 92995.15	E 39570.69
57	N 92979.48	E 39617.91
58	N 92969.05	E 39666.55
59	N 92965.18	E 39715.93
60	N 92974.54	E 39763.99

COORDINATE TABLE		
LOT NUMBER	NORTHING	EASTING
61	N 92997.31	E 39807.32
62	N 93003.87	E 39359.68
63	N 92979.31	E 39312.19
64	N 92961.82	E 39266.27
65	N 92951.27	E 39217.72
66	N 92947.68	E 39168.27
67	N 93006.92	E 39148.20
68	N 93012.09	E 39218.32
69	N 93109.89	E 39133.31
70	N 93148.30	E 39121.17
71	N 93202.71	E 39100.56
72	N 93257.33	E 39084.52
73	N 93313.11	E 39073.15
74	N 93368.07	E 39065.52
75	N 93437.76	E 39064.94
76	N 93494.56	E 39068.89
77	N 93550.81	E 39077.63
78	N 93606.13	E 39091.09
79	N 93660.10	E 39109.18
80	N 93712.36	E 39131.77
81	N 93762.52	E 39158.69
82	N 93799.34	E 39200.12
83	N 93830.87	E 39281.54
84	N 93859.60	E 39151.54
85	N 93896.00	E 39105.72
86	N 93767.61	E 39092.65
87	N 93727.53	E 39072.57
88	N 93681.74	E 39053.22
89	N 93534.75	E 39037.02
90	N 93582.86	E 39073.14
91	N 93538.00	E 39074.34

COORDINATE TABLE		
LOT NUMBER	NORTHING	EASTING
92	N 93529.08	E 38784.94
93	N 93578.13	E 38779.32
94	N 93627.89	E 38714.40
95	N 93675.95	E 38761.57
96	N 93726.61	E 38749.06
97	N 93773.08	E 38757.23
98	N 93899.44	E 38766.06
99	N 93921.44	E 38810.99
100	N 93943.38	E 38876.98
101	N 93949.11	E 38950.08
102	N 93936.63	E 39022.34
103	N 94001.53	E 39010.83
104	N 94008.22	E 38965.61
105	N 94009.04	E 38919.91
106	N 94003.98	E 38874.48
107	N 93993.13	E 38830.08
108	N 93976.66	E 38787.44
109	N 93954.61	E 38742.44
110	N 93919.79	E 38685.32
111	N 93913.96	E 38665.28
112	N 93916.03	E 38604.38
113	N 93925.90	E 38504.38
114	N 93856.06	E 38444.53
115	N 93853.74	E 38501.19
116	N 93856.05	E 38560.69
117	N 93863.55	E 38652.27
118	N 93758.27	E 38679.08
119	N 93733.81	E 38690.41
120	N 93663.54	E 38702.86

COORDINATE TABLE		
LOT NUMBER	NORTHING	EASTING
121	N 93610.45	E 38713.57
122	N 93556.89	E 38721.58
123	N 93503.00	E 38729.89
124	N 93448.90	E 38729.48
125	N 93379.75	E 38728.92
126	N 93334.70	E 38735.09
127	N 93290.72	E 38754.78
128	N 93254.30	E 38786.35
129	N 93225.67	E 38834.01
130	N 93215.38	E 38876.02
131	N 93216.69	E 38921.24
132	N 93226.06	E 38970.45

AREA TABLE	
LOT NUMBER	AREA (sq. ft.)
1	6,356 sq. ft.
2	6,953 sq. ft.
3	6,953 sq. ft.
4	6,953 sq. ft.
5	6,953 sq. ft.
6	6,953 sq. ft.
7	6,953 sq. ft.
8	6,953 sq. ft.
9	6,953 sq. ft.
10	5,941 sq. ft.
11	7,779 sq. ft.
12	7,809 sq. ft.
13	8,165 sq. ft.
14	5,950 sq. ft.
15	5,958 sq. ft.
16	5,958 sq. ft.
17	5,958 sq. ft.
18	5,958 sq. ft.
19	5,958 sq. ft.
20	5,958 sq. ft.
21	5,958 sq. ft.
22	5,958 sq. ft.
23	5,958 sq. ft.
24	5,883 sq. ft.
25	5,883 sq. ft.
26	5,883 sq. ft.
27	5,883 sq. ft.
28	5,883 sq. ft.
29	5,883 sq. ft.
30	5,883 sq. ft.

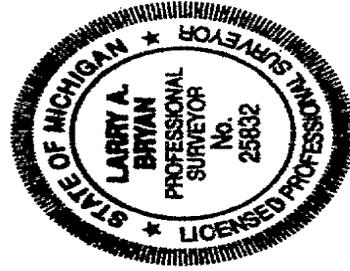
AREA TABLE	
LOT NUMBER	AREA (sq. ft.)
31	5,941 sq. ft.
32	7,657 sq. ft.
33	6,915 sq. ft.
34	6,354 sq. ft.
35	6,272 sq. ft.
36	5,852 sq. ft.
37	6,043 sq. ft.
38	6,043 sq. ft.
39	6,043 sq. ft.
40	6,047 sq. ft.
41	5,681 sq. ft.
42	7,377 sq. ft.
43	6,043 sq. ft.
44	6,039 sq. ft.
45	6,043 sq. ft.
46	6,043 sq. ft.
47	5,701 sq. ft.
48	5,832 sq. ft.
49	5,716 sq. ft.
50	5,716 sq. ft.
51	5,716 sq. ft.
52	5,687 sq. ft.
53	7,196 sq. ft.
54	7,510 sq. ft.
55	6,043 sq. ft.
56	6,043 sq. ft.
57	6,043 sq. ft.
58	6,043 sq. ft.
59	6,418 sq. ft.
60	6,902 sq. ft.

AREA TABLE	
LOT NUMBER	AREA (sq. ft.)
61	7,047 sq. ft.
62	8,149 sq. ft.
63	6,214 sq. ft.
64	6,284 sq. ft.
65	5,960 sq. ft.
66	5,426 sq. ft.
67	6,912 sq. ft.
68	8,190 sq. ft.
69	6,392 sq. ft.
70	5,806 sq. ft.
71	5,681 sq. ft.
72	5,681 sq. ft.
73	5,750 sq. ft.
74	5,102 sq. ft.
75	5,681 sq. ft.
76	5,681 sq. ft.
77	5,681 sq. ft.
78	5,681 sq. ft.
79	5,681 sq. ft.
80	5,681 sq. ft.
81	6,822 sq. ft.
82	6,104 sq. ft.
83	6,452 sq. ft.
84	6,452 sq. ft.
85	6,509 sq. ft.
86	6,159 sq. ft.
87	5,794 sq. ft.
88	5,794 sq. ft.
89	6,228 sq. ft.
90	5,360 sq. ft.

AREA TABLE	
LOT NUMBER	AREA (sq. ft.)
91	5,684 sq. ft.
92	5,561 sq. ft.
93	5,612 sq. ft.
94	5,728 sq. ft.
95	5,575 sq. ft.
96	5,728 sq. ft.
97	5,818 sq. ft.
98	7,454 sq. ft.
99	5,430 sq. ft.
100	6,293 sq. ft.
101	6,910 sq. ft.
102	6,510 sq. ft.
103	5,545 sq. ft.
104	5,711 sq. ft.
105	5,509 sq. ft.
106	5,576 sq. ft.
107	5,721 sq. ft.
108	5,721 sq. ft.
109	5,362 sq. ft.
110	5,852 sq. ft.
111	5,852 sq. ft.
112	5,852 sq. ft.
113	5,852 sq. ft.
114	5,852 sq. ft.
115	5,990 sq. ft.
116	5,929 sq. ft.
117	5,929 sq. ft.
118	6,629 sq. ft.
119	5,671 sq. ft.
120	5,491 sq. ft.

AREA TABLE	
LOT NUMBER	AREA (sq. ft.)
121	5,575 sq. ft.
122	5,574 sq. ft.
123	5,574 sq. ft.
124	5,574 sq. ft.
125	5,573 sq. ft.
126	6,771 sq. ft.
127	6,954 sq. ft.
128	6,950 sq. ft.
129	6,139 sq. ft.
130	6,556 sq. ft.
131	6,938 sq. ft.
132	6,034 sq. ft.
133	8,175 sq. ft.

James D. Bryan



PROPOSED AUGUST 27, 2003
 COORDINATE AND AREA TABLES
 SHEET 12 OF 12

PREPARED BY:
 KEBS, INC.
 2116 HASLETT ROAD
 HASLETT, MICHIGAN, 48840
 PHONE: (517) 359-1014
 99-S-60426