

Livingston County Michigan
Brandon Derby
Register of Deeds

This receipt acknowledges that

COOPER & RIESTERER

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ASGN MTG

The document was received on:

Jan 3 2022 3:06PM

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this Transaction Id

6359005

CHECK: 0653 35.00 COOPER & RIESTERER

I hereby certify that there are no TAX LIENS OR TITLES held by the State or any individual against the within description, and all TAXES are same as paid for five years previous to the date of this instrument or appear on the records in this office except as stated.

1-3-2022 Jennifer M. Nash, Treasurer

2021 Taxes not examined Certificate # 28664

2022R-000269
RECORDED ON
01/03/2022 03:06:21 PM
BRANDON DENBY
REGISTER OF DEEDS
LIVINGSTON COUNTY, MI 48843
RECORDING: 26.00
REMON: 4.00
PAGES: 15

15
CDE ✓

**FIRST AMENDMENT TO MASTER DEED
OF
THE LINKS OF MARION OAKS CONDOMINIUM PROJECT**

THIS FIRST AMENDMENT TO MASTER DEED OF THE LINKS OF MARION OAKS ("Amendment") is made and executed on this 28th day of December, 2021, by The Links of Marion Oaks, LLC ("Developer"), a Michigan limited liability company, whose address is 1295 Maxfield Drive, Brighton, Michigan 48114.

Recitals

A. The Links of Marion Oaks, Livingston County Condominium Subdivision Plan No. 446 ("Project"), was established as an attached condominium project under the provisions of Act 59 of the Michigan Public Acts of 1978, as amended ("Act"), by the recording of the Master Deed for the Project, on the 23rd day of August, 2021 in the Livingston County Register of Deeds, associated with Instrument No. 2021R-035060 ("Master Deed");

B. The Project was initially intended to be a 192 unit Project, however the initial Master Deed set forth only 73 of the units. The Property at issue is described on Exhibit A attached hereto.

C. The Developer reserved the right to expand the Project in Article XV of the Master Deed, and at this time, the Developer is prepared to move forward with the expansion as provided in that Article to 192 units.

Amendment

The Developer does hereby amend the Master Deed as follows:

1. **Expansion of Units.** The Project is hereby expanded to 192 Units pursuant to the amendment herein, and specifically as set forth in the amended Exhibit B drawings. All references in the Master Deed to number of Units in the Project shall be amended to be 192 Units.

2. **Removal of Article XV.** The Developer has utilized the rights granted in Article XV of the Master Deed and no further rights of expansion exist. Therefore, Article XV of the Master Deed shall be deemed void and of no further effect.

3. **Amendment of Legal Description.** Article II, Legal Description, of the Master Deed is hereby replaced in its entirety by the legal description attached hereto as Exhibit A.

29 DEC 21 PM 8:53
RCVD



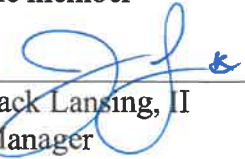
4. **Amendment of Exhibit B.** Exhibit B to the Master Deed is hereby replaced in its entirety by the condominium plan drawings labeled Exhibit B attached hereto.

5. **Continuing Effect.** Except as amended and modified by this Amendment, all terms and conditions of the Master Deed shall remain in full force and effect.

The Developer has duly executed this First Amendment to Master Deed of The Links of Marion Oaks as of the day and year first written above.

THE LINKS OF MARION OAKS LLC


By: Marion Oaks Development, LLC,
its sole member



By: Jack Lansing, II
Its: Manager

STATE OF MICHIGAN)
) ss
COUNTY OF LIVINGSTON)

The foregoing instrument was acknowledged before me this 28th day of December, 2021, by Jack Lansing, II, Manager of Marion Oaks Development, LLC, the sole Member of The Links of Marion Oaks, LLC, a Michigan limited liability company, on behalf of said company.

 Jennifer Ruff
_____, Notary Public
State of Michigan, County of Livingston
My Commission Expires: 5/26/2027 *HR*
Acting in the County of Livingston

DRAFTED BY AND WHEN RECORDED RETURN TO:
✓ Catherine A. Riesterer
COOPER & RIESTERER, PLC
7900 Grand River Road
Brighton, MI 48114
(810) 227-3103

Exhibit A
Replacement of Article II of Master Deed

ARTICLE II
Legal Description

The land that comprises the Condominium Premises established by this Master Deed is located in Marion Township, Livingston County, Michigan, and is described as follows:

PART OF THE SOUTHWEST 1/4 OF SECTION 12, T2N-R4E, AND THE WEST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 12, T2N-R4E, MARION TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE WEST 1/4 CORNER OF SECTION 12; THENCE ALONG THE CENTERLINE OF PINCKNEY ROAD (66 FOOT WIDE RIGHT OF WAY) AND THE WEST LINE OF SECTION 12, S 02°26'19" E, 1021.35 FEET; THENCE N 87°33'41" E, 196.06 FEET; THENCE N 86°36'52" E, 18.30 FEET, TO THE POINT OF BEGINNING OF THE PARCEL TO BE DESCRIBED; THENCE CONTINUING N 86°36'52" E, 621.99 FEET; THENCE EASTERLY ALONG AN ARC RIGHT, HAVING A LENGTH OF 659.54 FEET, A RADIUS OF 1467.00 FEET, A CENTRAL ANGLE OF 25°45'34", AND A LONG CHORD WHICH BEARS S 80°30'21" E, 654.00 FEET; THENCE SOUTHEASTERLY ALONG AN ARC LEFT, HAVING A LENGTH OF 183.51 FEET, A RADIUS OF 106.50 FEET, A CENTRAL ANGLE OF 98°43'42", AND A LONG CHORD WHICH BEARS S 43°04'28" E, 161.64 FEET; THENCE S 02°26'19" E, 62.45 FEET; THENCE S 37°34'05" W, 80.67 FEET; THENCE S 54°13'54" E, 311.88 FEET; THENCE S 29°21'39" E, 304.66 FEET; THENCE S 63°34'46" E, 90.47 FEET; THENCE S 87°58'51" E, 339.80 FEET; THENCE S 47°44'25" E, 186.33 FEET; THENCE S 15°45'10" E, 112.74 FEET; THENCE S 03°01'27" E, 158.42 FEET; THENCE EASTERLY ALONG AN ARC RIGHT, HAVING A LENGTH OF 71.52 FEET, A RADIUS OF 275.00 FEET, A CENTRAL ANGLE OF 14°54'05", AND A LONG CHORD WHICH BEARS S 72°42'09" E, 71.32 FEET; THENCE S 26°35'25" W, 104.19 FEET; THENCE SOUTHERLY ALONG AN ARC LEFT, HAVING A LENGTH OF 28.46 FEET, A RADIUS OF 183.00 FEET, A CENTRAL ANGLE OF 08°54'43", AND A LONG CHORD WHICH BEARS S 22°08'03" W, 28.44 FEET; THENCE S 86°58'33" W, 584.13 FEET; THENCE N 86°19'47" W, 372.48 FEET; THENCE S 78°09'32" W, 423.09 FEET; THENCE N 76°51'08" W, 223.80 FEET; THENCE N 41°59'55" W, 236.51 FEET; THENCE N 10°40'26" W, 195.57 FEET; THENCE N 02°26'19" W, 234.41 FEET; THENCE S 86°58'33" W, 507.99 FEET; THENCE N 02°26'19" W, 388.21 FEET; THENCE N 03°22'00" W, 428.73 FEET, TO THE POINT OF BEGINNING, CONTAINING 49.95 ACRES, MORE OR LESS, AND SUBJECT TO ANY EASEMENTS OR RESTRICTIONS OF RECORD.

Tax ID#4710-12-300-009

Together with and subject to easements, restrictions, and governmental limitations of record, and the rights of the public or any governmental unit in any part of the subject property taken or used for road, street, or highway purpose. The obligations of the Developer under the foregoing instruments are or shall be assigned to, and thereafter performed by, the Links Association or the Project Association on behalf of the Co-Owners. Also subject to the easements and reservations established and reserved in Article VI and X below. This Master Deed is further subject to a certain Consent Judgment dated May 31, 2007, and recorded in the Livingston County Register of Deeds, Document No. 2007R-019945; and a Declaration of Restrictive Covenants dated 10/8/2018 and recorded at the Livingston County Register of Deeds, Document No. 2018R-027163.

REPLAT 1 LIVINGSTON COUNTY CONDOMINIUM SUBDIVISION PLAN NO. 446

EXHIBIT B TO THE AMENDED MASTER DEED OF

THE LINKS OF MARION OAKS MARION TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN DEVELOPER.

THE LINKS OF MARION OAKS, L.L.C.
1295 MAYFIELD ROAD
BRIGHTON, MICHIGAN 48114

CONDOMINIUM BOUNDARY

DESCRIPTION OF THE LINKS OF MARION OAKS

PART OF THE SOUTHWEST 1/4 OF SECTION 12, 20N-R4E AND THE WEST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 12, 20N-R4E MARION TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE WEST 1/4 CORNER OF PICKNEY ROAD (66 FOOT WIDE RIGHT OF WAY) AND THE WEST LINE OF SECTION 12, S. 02°26'19" E. 1,021.35 FEET; THENCE N. 87°33'41" E. 1,966.08 FEET; THENCE N. 85°36'52" E. 1,830.10 FEET; TO THE POINT OF BEGINNING OF THE PARCEL TO BE DESCRIBED; THENCE CONTINUING N. 85°36'52" E. 621.99 FEET; THENCE EASTERLY ALONG AN ARC RIGHT, HAVING A LENGTH OF 659.54 FEET, A RADIUS OF 1467.00 FEET; THENCE SOUTHWESTERLY ALONG AN ARC LEFT, HAVING A LENGTH OF 8030.21 FT., A RADIUS OF 108.50 FEET; A CENTRAL ANGLE OF 25°45'34", AND A LONG CHORD WHICH BEARS S. 90°30'21" E. 854.00 FEET; A CENTRAL ANGLE OF 98°48'12", AND A LONG CHORD WHICH BEARS S. 43°01'28" E. 101.94 FEET; THENCE S. 62°28'19" E. 159.42 FEET; THENCE S. 42°52'16" E. 90.47 FEET; THENCE S. 87°58'59" E. 159.42 FEET; THENCE S. 47°44'25" E. 186.33 FEET; THENCE S. 19°46'10" E. 117.24 FEET; THENCE S. 07°01'27" E. 159.42 FEET; THENCE EASTERLY ALONG AN ARC RIGHT, HAVING A LENGTH OF 71.52 FEET, A RADIUS OF 276.00 FEET, A CENTRAL ANGLE OF 1°15'40.05", AND A LONG CHORD WHICH BEARS S. 72°42'08" E. 71.32 FEET; THENCE S. 26°32'25" W. 101.19 FEET; THENCE SOUTHERLY ALONG AN ARC LEFT, HAVING A LENGTH OF 28.46 FEET, A RADIUS OF 183.00 FEET; A CENTRAL ANGLE OF 08°54'43", AND A LONG CHORD WHICH BEARS S. 22°08'03" W. 28.44 FEET; THENCE S. 86°58'33" W. 584.13 FEET; THENCE N. 86°19'47" W. 372.48 FEET; THENCE S. 78°09'32" W. 423.09 FEET; THENCE N. 76°51'08" W. 223.80 FEET; THENCE S. 41°59'55" W. 226.51 FEET; THENCE N. 10°40'26" W. 193.57 FEET; THENCE N. 02°26'19" W. 234.41 FEET; THENCE S. 85°36'52" W. 507.99 FEET; THENCE N. 02°26'19" W. 388.21 FEET; THENCE N. 03°22'07" W. 428.73 FEET; TO THE POINT OF BEGINNING, CONTAINING 49.85 ACRES, MORE OR LESS, AND SUBJECT TO ANY EASEMENTS OR RESTRICTIONS OF RECORD.

NOTE: THIS CONDOMINIUM SUBDIVISION PLAN IS NOT REQUIRED TO CONTAIN DETAILED PRODUCT DESIGN PLANS PREPARED BY THE APPROPRIATE LICENSED DESIGN PROFESSIONAL. SUCH PRODUCT DESIGN PLANS ARE FIELD AS-BUILT CONSTRUCTION DOCUMENTS PREPARED BY THE RELEVANT GOVERNMENTAL AGENCY, MAY BE A LOCAL BUILDING DEPARTMENT OR THE STATE DEPARTMENT OF LICENSING AND REGULATORY AFFAIRS.

INGRESS AND EGRESS EASEMENT (MARION OAKS DRIVE)
PART OF THE SOUTHWEST 1/4 OF SECTION 12, 20N-R4E MARION TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE WEST 1/4 CORNER OF SECTION 12; THENCE ALONG THE CENTRAL LINE OF PICKNEY ROAD (66 FOOT WIDE RIGHT OF WAY) AND THE WEST LINE OF SECTION 12, S. 02°26'19" E. 944.35 FEET; TO THE POINT OF BEGINNING OF THE EASEMENT TO BE DESCRIBED; THENCE N. 87°33'41" E. 173.00 FEET; THENCE S. 89°36'13" E. 138.00 FEET; THENCE N. 85°36'52" E. 524.65 FEET; THENCE EASTERLY ALONG AN ARC RIGHT, HAVING A LENGTH OF 691.49 FEET, A RADIUS OF 1533.00 FEET; A CENTRAL ANGLE OF 25°50'49", AND A LONG CHORD WHICH BEARS S. 80°27'48" E. 693.65 FEET; THENCE ALONG A 108.50 FOOT RADIUS CUL-DE-SAC ON AN ARC RIGHT, HAVING A LENGTH OF 602.02 FEET, A RADIUS OF 108.50 FEET; A CENTRAL ANGLE OF 32°32'28" E. 602.02 FEET; THENCE S. 24°21'04" W. 651.04 FEET; THENCE S. 85°36'52" W. 892.15 FEET; AND A LONG CHORD WHICH BEARS S. 24°21'04" W. 651.04 FEET; THENCE SOUTHWESTERLY ALONG AN ARC OF 255°54'14", AND A LONG CHORD WHICH BEARS N. 80°30'21" W. 654.00 FEET; THENCE S. 85°36'52" W. 660.28 FEET; THENCE S. 87°33'41" W. 156.06 FEET; THENCE ALONG THE CENTRAL LINE OF PICKNEY ROAD (66 FOOT WIDE RIGHT OF WAY) AND THE WEST LINE OF SECTION 12, N. 02°26'19" W. 77.00 FEET; TO THE POINT OF BEGINNING.

INGRESS AND EGRESS EASEMENT (GOODMAN DRIVE)

PART OF THE SOUTHWEST 1/4 OF SECTION 12, 20N-R4E AND THE WEST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 12, 20N-R4E MARION TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTH 1/4 CORNER OF SECTION 12; THENCE ALONG THE CENTRAL LINE OF WRIGHT ROAD (66 FOOT WIDE RIGHT OF WAY) AND THE SOUTH LINE OF SECTION 12, S. 85°36'13" W. 33.00 FEET; THENCE N. 03°28'20" W. 70.98 FEET; THENCE NORTHERLY ALONG AN ARC RIGHT, HAVING A LENGTH OF 98.59 FEET, A RADIUS OF 183.00 FEET; A CENTRAL ANGLE OF 3°01'45", AND A LONG CHORD WHICH BEARS N. 11°34'32" E. 94.82 FEET; THENCE N. 26°32'25" E. 476.74 FEET; THENCE SOUTHWESTERLY ALONG AN ARC LEFT, HAVING A LENGTH OF 66.04 FEET, A RADIUS OF 533.00 FEET; A CENTRAL ANGLE OF 07°05'38", AND A LONG CHORD WHICH BEARS S. 63°43'51" E. 66.00 FEET; THENCE S. 26°32'25" W. 440.23 FEET; THENCE N. 03°28'20" W. 111.00 FEET; THENCE N. 03°28'20" W. 111.00 FEET; THENCE S. 26°32'25" W. 60.62 FEET; THENCE S. 07°26'20" E. 71.22 FEET; THENCE ALONG THE CENTRAL LINE OF WRIGHT ROAD (66 FOOT WIDE RIGHT OF WAY) AND THE SOUTH LINE OF SECTION 12, S. 85°36'13" W. 33.00 FEET; TO THE POINT OF BEGINNING.

PROPOSED CENTERLINE EASEMENT 'A'
A 30 FOOT WIDE PRIVATE EASEMENT FOR PUBLIC SANITARY SEWER, BEING 15 FEET EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE:

PART OF THE SOUTHWEST 1/4 OF SECTION 12, 20N-R4E, MARION TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SECTION 12; THENCE ALONG THE CENTRAL LINE OF WRIGHT ROAD (66 FOOT WIDE RIGHT OF WAY) AND THE SOUTH LINE OF SECTION 12, N. 85°36'13" E. 745.00 FEET; TO THE POINT OF BEGINNING OF THE CENTERLINE TO BE DESCRIBED; THENCE S. 02°26'19" W. 338.59 FEET; THENCE N. 59°31'52" E. 241.58 FEET; TO THE POINT OF TERMINUS.

PROPOSED CENTERLINE EASEMENT 'B'

A 25 FOOT WIDE PRIVATE EASEMENT FOR PUBLIC WATERMAIN, BEING 12.5 FEET EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE:

PART OF THE SOUTHWEST 1/4 OF SECTION 12, 20N-R4E, MARION TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE WEST 1/4 CORNER OF SECTION 12; THENCE ALONG THE CENTRAL LINE OF PICKNEY ROAD (66 FOOT WIDE RIGHT OF WAY) AND THE WEST LINE OF SECTION 12, S. 02°26'19" E. 944.35 FEET; THENCE N. 87°33'41" E. 173.00 FEET; THENCE S. 89°36'13" E. 138.00 FEET; THENCE N. 85°36'52" E. 524.65 FEET; THENCE EASTERLY ALONG AN ARC RIGHT, HAVING A LENGTH OF 691.49 FEET, A RADIUS OF 1533.00 FEET; A CENTRAL ANGLE OF 25°50'49", AND A LONG CHORD WHICH BEARS S. 80°27'48" E. 693.65 FEET; THENCE ALONG A 108.50 FOOT RADIUS CUL-DE-SAC ON AN ARC RIGHT, HAVING A LENGTH OF 602.02 FEET, A RADIUS OF 108.50 FEET; A CENTRAL ANGLE OF 32°32'28" E. 602.02 FEET; THENCE S. 24°21'04" W. 651.04 FEET; THENCE S. 85°36'52" W. 892.15 FEET; AND A LONG CHORD WHICH BEARS S. 24°21'04" W. 651.04 FEET; THENCE SOUTHWESTERLY ALONG AN ARC OF 255°54'14", AND A LONG CHORD WHICH BEARS N. 80°30'21" W. 654.00 FEET; THENCE S. 85°36'52" W. 660.28 FEET; THENCE S. 87°33'41" W. 156.06 FEET; THENCE ALONG THE CENTRAL LINE OF PICKNEY ROAD (66 FOOT WIDE RIGHT OF WAY) AND THE WEST LINE OF SECTION 12, N. 02°26'19" W. 77.00 FEET; TO THE POINT OF TERMINUS.

PROPOSED CENTERLINE EASEMENT 'C'

A 25 FOOT WIDE PRIVATE EASEMENT FOR PUBLIC WATERMAIN, BEING 12.5 FEET EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE:

PART OF THE SOUTHWEST 1/4 OF SECTION 13, 20N-R4E, MARION TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE WEST 1/4 CORNER OF SECTION 12; THENCE ALONG THE CENTRAL LINE OF PICKNEY ROAD (66 FOOT WIDE RIGHT OF WAY) AND THE WEST LINE OF SECTION 12, S. 02°26'19" E. 944.35 FEET; THENCE N. 87°33'41" E. 173.00 FEET; THENCE S. 89°36'13" E. 138.00 FEET; THENCE N. 85°36'52" E. 524.65 FEET; THENCE EASTERLY ALONG AN ARC RIGHT, HAVING A LENGTH OF 691.49 FEET, A RADIUS OF 1533.00 FEET; A CENTRAL ANGLE OF 25°50'49", AND A LONG CHORD WHICH BEARS S. 80°27'48" E. 693.65 FEET; THENCE ALONG A 108.50 FOOT RADIUS CUL-DE-SAC ON AN ARC RIGHT, HAVING A LENGTH OF 602.02 FEET, A RADIUS OF 108.50 FEET; A CENTRAL ANGLE OF 32°32'28" E. 602.02 FEET; THENCE S. 24°21'04" W. 651.04 FEET; THENCE S. 85°36'52" W. 892.15 FEET; AND A LONG CHORD WHICH BEARS S. 24°21'04" W. 651.04 FEET; THENCE SOUTHWESTERLY ALONG AN ARC OF 255°54'14", AND A LONG CHORD WHICH BEARS N. 80°30'21" W. 654.00 FEET; THENCE S. 85°36'52" W. 660.28 FEET; THENCE S. 87°33'41" W. 156.06 FEET; THENCE ALONG THE CENTRAL LINE OF PICKNEY ROAD (66 FOOT WIDE RIGHT OF WAY) AND THE WEST LINE OF SECTION 12, N. 02°26'19" W. 77.00 FEET; TO THE POINT OF TERMINUS.



PREPARED BY:

REBOSS
Engineering
Landmarks Architects

Engineers Surveyors Planners
3121 E. GRAND RIVER AVE.
HOWELL, MI. 48843
800.246.6735 FAX 517.548.1670

DRAWING INDEX

SHEET NO.	DESCRIPTION
*1	COVER SHEET
*2	SURVEY PLAN
*3	COMPOSITE PLAN
*4-5	SITE PLAN
*5A-5B	SITE PLAN
*6-7	UTILITY PLAN
*7A-7B	UTILITY PLAN
8	FLOOR PLAN

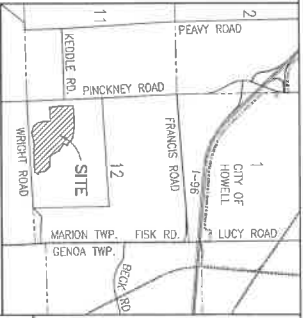
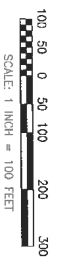
* INDICATES CHANGES MADE ON THE SHEET

PROPOSED AS OF OCTOBER 22, 2021
UNITS 175-178 MUST BE BUILT
UNITS 1-174 & 179-192 NEED NOT BE BUILT

W 1/4 COR.
SEC. 12
T2N-R4E
(K-04)

BENCHMARKS: (NGVD29 DATUM)
BM-"X" ARROW ON IRONPIPE, 1700± FT. WEST OF THE E. OF PINCKNEY ROAD & 35± FT. NORTH OF THE E. OF WRIGHT ROAD OF SECTION 12, T2N-R4E.
ELEV. = 543.116

SURVEY PLAN



LIST OF COORDINATES		LIST OF COORDINATES	
NO.	NORTHING	NO.	NORTHING
1	1173.50	16	-868.50
2	-1253.99	17	-844.70
3	-1121.08	18	-855.90
4	-969.97	19	-958.08
5	362.30	20	-998.42
6	389.63	21	-1016.23
7	291.76	22	-922.39
8	173.69	23	-1079.21
9	111.29	24	-1028.30
10	-47.36	25	-852.54
11	-134.94	26	-650.36
12	-400.47	27	-425.15
13	-440.72	28	-452.98
14	-452.89	29	-452.98
15	-578.00	30	-650.78

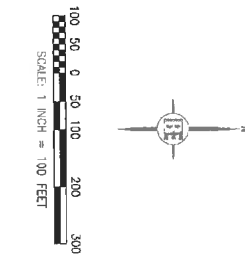
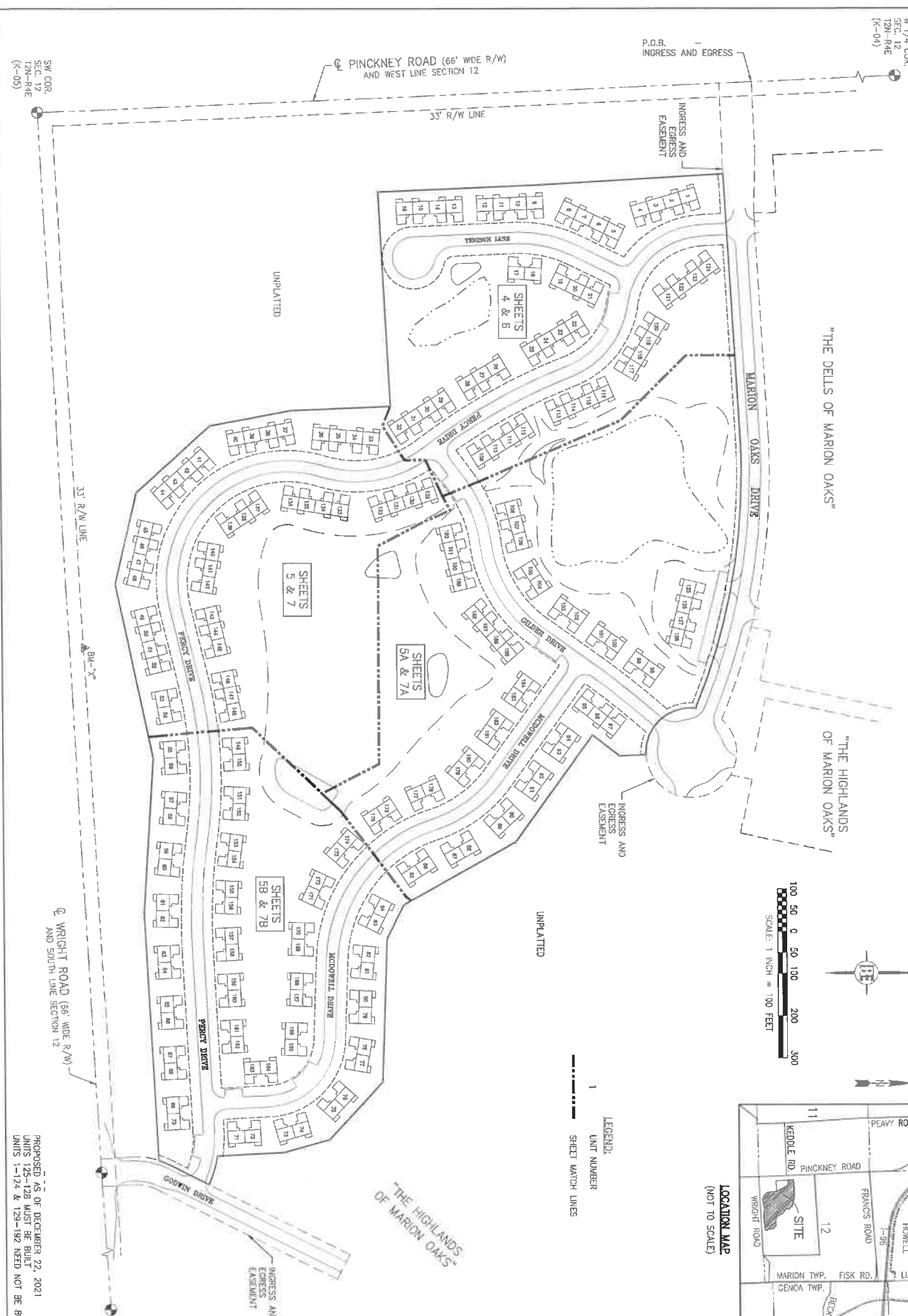
CHRISTOPHER S. FERROS, PROFESSIONAL SURVEYOR OF THE STATE OF MICHIGAN HEREBY CERTIFY: THAT THE SUBDIVISION PLAN KNOWN AS LIVINGSTON COUNTY CONDOMINIUM SUBDIVISION REPRESENTS A SURVEY OF THE ENCLOSURED DRAWINGS AND THEREIN SHOWN ARE THE ENCROACHMENTS UPON THE LANDS AND PROPERTY HEREIN DISCLOSED. THAT THE REQUIRED MONUMENTS AND IRON MARKERS WILL BE LOCATED IN THE GROUND WITHIN 1 YEAR FROM RECORDING DATE AS REQUIRED BY RULES PROMULGATED UNDER SECTION 142 OF ACT NUMBER 89 OF THE PUBLIC ACTS OF 1978. THAT THE BEARINGS AS SHOWN ARE NOTED ON THE SURVEY PLAN AS REQUIRED BY THE RULES PROMULGATED UNDER SECTION 142 OF ACT NUMBER 89 OF THE PUBLIC ACTS OF 1978.

DATE: 12/22/2021

CHRISTOPHER S. FERROS
PROFESSIONAL SURVEYOR
LICENSE NO. 47025
BOSS ENGINEERING COMPANY
3121 E. GRAND RIVER AVENUE
HOWELL, MICHIGAN 48843

PROPOSED AS OF DECEMBER 22, 2021
UNITS 125'-728' WEST BE BUILT
UNITS 1-124' E 129' 152' NEEDED NOT BE BUILT

COMPOSITE PLAN



LEGEND:
 UNIT NUMBER
 SHEET MATCH LINES

SW COR.
 SEC. 12
 T2N-R4E
 (K-05)

PINCKNEY ROAD (66' WIDE R/W)
 AND WEST LINE SECTION 12

P.O.B.
 INGRESS AND EGRESS

W 1/4 COR.
 SEC. 12
 T2N-R4E
 (K-04)

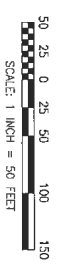
PROPOSED AS OF DECEMBER 22, 2021
 UNITS 125-128 MUST BE BUILT
 UNITS 1-124 & 129-192 NEED NOT BE BUILT

DESIGNED BY: ST	<p>THE LINKS OF MARION OAKS, LLC</p> <p>THE LINKS OF MARION OAKS</p> <p>COMPOSITE PLAN</p>
DRAWN BY: MD	
CHECKED BY: MD	
SCALE: 1" = 100'	
DATE: 12-22-21	
PROJECT NO. 17-283-1	CLIENT
DATE: 12-22-21	PROJECT
DATE: 12-22-21	TITLE
DATE: 12-22-21	DATE
DATE: 12-22-21	REVISION
DATE: 12-22-21	DATE

BEBOSS
 Engineering
 Engineers Surveyors Planners Land Use Architects
 3121 E. GRAND OAKS AVE.
 HOWELL, MI 48843
 800.246.6735 FAX 517.548.1670

REGISTERED PROFESSIONAL ENGINEER
 CIVIL ENGINEERING
 STATE OF MICHIGAN
 No. 25877
 DATE: 12-22-21

SITE PLAN



LIST OF COORDINATES	
N.O. NORTHING	EASTING
5	362.90
27	-426.16
48	-452.06
49	-65.09
50	158.28
51	143.97
52	-35.48
53	-12.75
54	-218.09
55	-220.30
56	-107.92
57	-410.13
58	-147.05
60	-47.08
61	-24.34
62	-89.45
63	-115.84
64	-241.77
65	-288.20
66	-401.57
67	-429.75
132	-270.66
133	-247.91
134	-41.57
135	-62.31
136	147.24
137	103.79
138	225.20
139	194.37

- LEGEND:**
- CONCRETE MONUMENT 4" DIAMETER
 - COORDINATE POINT W/ DESIGNATION NUMBER
 - ① UNIT NUMBER
 - ▨ GENERAL COMMON ELEMENT
 - ▨ LIMITED COMMON ELEMENT
 - DR DRIVEWAY (LIMITED COMMON ELEMENT)
 - G GARAGE
 - SHEET MATCH LINE

PROPOSED AS OF DECEMBER 22, 2021
 UNITS 123-128 AND 138-139
 UNITS 129-131 & 132-137 NEED NOT BE BUILT

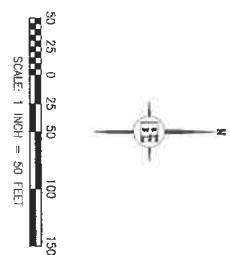
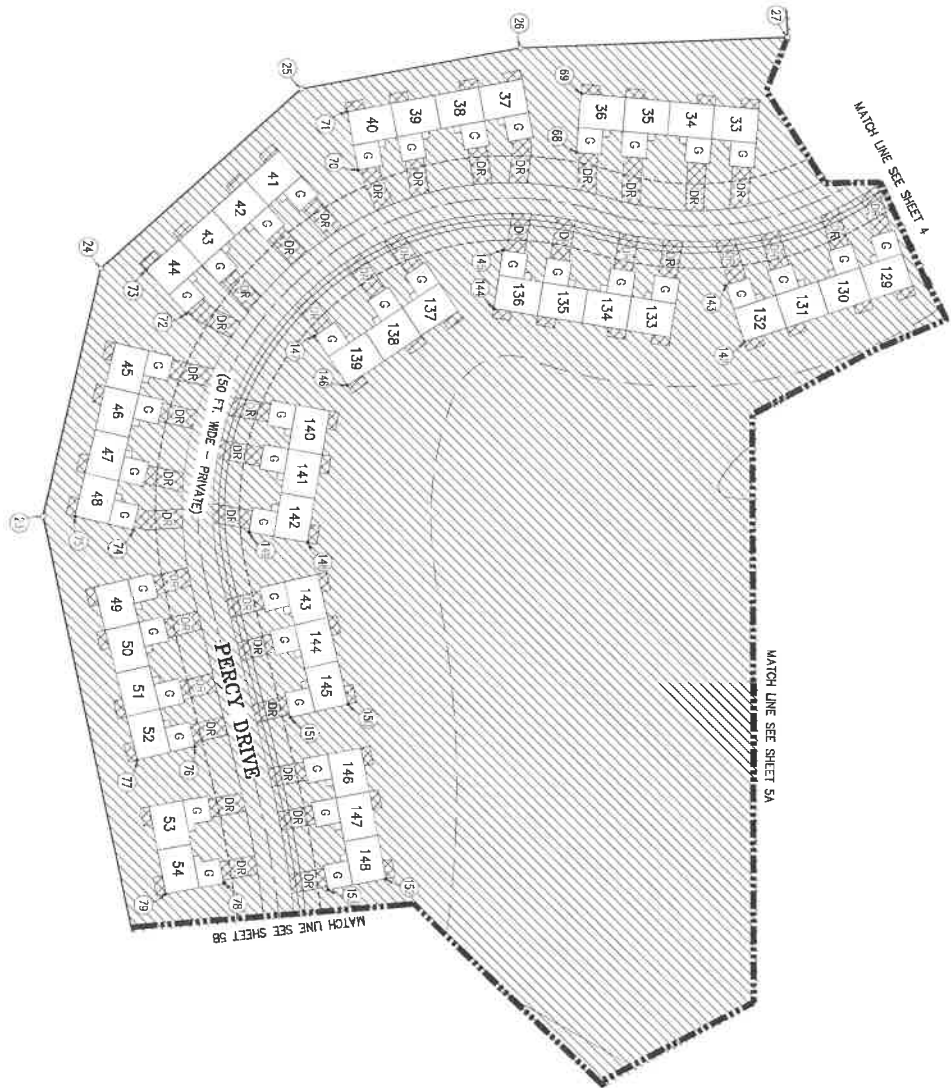
CLIENT	THE LINKS OF MARION OAKS, LLC
PROJECT	THE LINKS OF MARION OAKS
TITLE	SITE PLAN

BEBOSS
 Engineering
 Engineers Surveyors Planners Landscape Architects
 3121 E. GRAND RIVER AVE.
 HOWELL, MI. 48843
 800.246.5735 FAX 517.548.1670

PROFESSIONAL ENGINEER
 LICENSE NO. 13300
 STATE OF MICHIGAN
 DESIGNER: ST
 DRAWN BY: MJD
 CHECKED BY: ST
 SCALE: 1" = 50'
 JOB NO.: 17-283-1
 DATE: 12-22-21
 PLATTING INFORMATION

SHEET NO. **4**

SITE PLAN



LIST OF COORDINATES	
NO.	NORTHING EASTING
23	-1029.21 2345.96
24	-1028.50 2729.03
25	-852.54 1970.78
26	-860.56 1934.53
27	-426.16 1824.58
68	-671.55 2023.89
69	-607.10 1974.08
70	-602.95 2041.82
71	-812.59 1990.72
72	-954.13 2768.55
73	-988.93 2129.91
74	-1060.77 2356.46
75	-1051.40 2346.53
76	-947.27 2528.54
77	-997.79 2500.66

LIST OF COORDINATES	
NO.	NORTHING EASTING
78	-922.29 2569.34
79	-973.42 2678.79
142	-464.56 2191.76
143	-460.99 2142.41
27	-426.16 1824.58
145	-675.73 2111.96
146	-612.68 2230.92
147	-841.51 2187.64
148	-847.58 2368.85
149	-895.19 2360.03
150	-812.56 2571.07
151	-863.18 2522.97
152	-719.44 2654.83
153	-830.51 2674.58

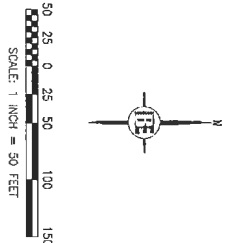
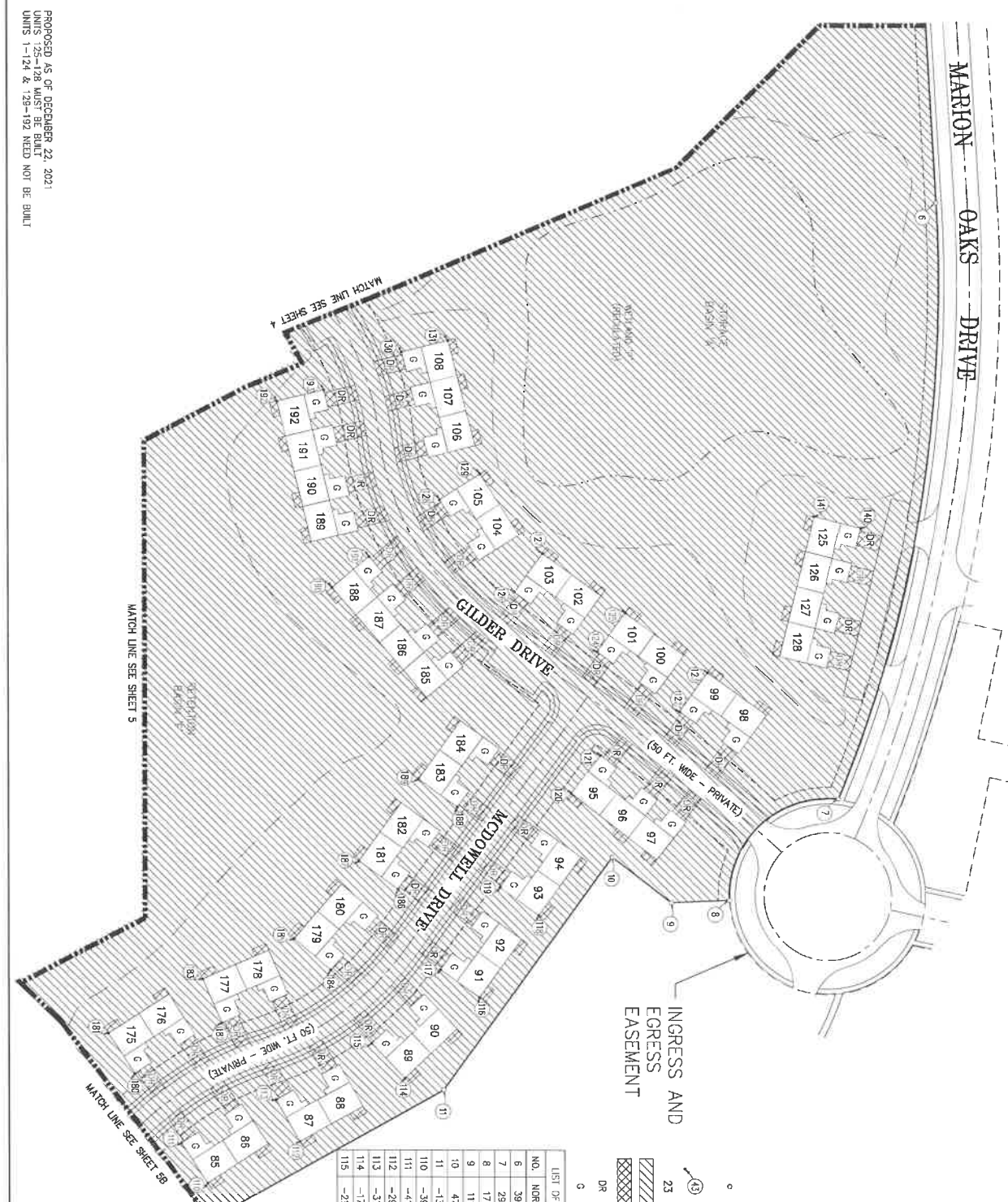
- LEGEND:**
- CONCRETE MONUMENT 4" DIAMETER
3/8" LONG ENGAGING 1/2" IRON ROD
 - ① COORDINATE POINT W/
DESIGNATION NUMBER
 - 1 UNIT NUMBER
 - ▨ GENERAL COMMON ELEMENT
 - ▨ LIMITED COMMON ELEMENT
 - DR DRIVEWAY (LIMITED COMMON ELEMENT)
 - G GARAGE
 - SHEET MATCH LINE

PROPOSED AS OF DECEMBER 22, 2021
 UNITS 125-126 MUST BE BUILT
 UNITS 1-124 & 129-192 NEED NOT BE BUILT

<p>CLIENT: THE LINKS OF MARION OAKS, LLC</p> <p>PROJECT: THE LINKS OF MARION OAKS</p> <p>TITLE: SITE PLAN</p>		<p>3121 E. GRAND RIVER AVE. HOWELL, MI. 48843 800.246.6735 FAX 517.548.1670</p>								
<p>DESIGNED BY: ST</p> <p>DRAWN BY: MJO</p> <p>CHECKED BY: MJO</p> <p>SCALE: 1" = 50'</p> <p>03 NO. 17-283-1</p> <p>DWG. 12-26-21</p> <p>PLATTING INFORMATION</p> <p>SHEET NO. 5</p>	<table border="1"> <thead> <tr> <th>NO.</th> <th>BY</th> <th>REVISION</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	BY	REVISION	DATE					<p>REVISION</p>
NO.	BY	REVISION	DATE							

SITE PLAN NORTH

MARION OAKS DRIVE



INGRESS AND EGRESS EASEMENT

- LEGEND:**
- CONCRETE MONUMENT 4" DIAMETER
 - 36" LONG EMBOSSED 1/2" IRON ROD
 - COORDINATE POINT W/ DESIGNATION NUMBER
 - 25 UNIT NUMBER
 - GENERAL COMMON ELEMENT
 - LIMITED COMMON ELEMENT
 - DR DRIVEWAY (LIMITED COMMON ELEMENT)
 - GARAGE

LIST OF COORDINATES		LIST OF COORDINATES	
NO.	NORTHING	NO.	EASTING
1	395.63	116	-96.41
2	291.76	117	-136.90
3	2841.56	118	-32.11
4	173.69	119	-74.30
5	2751.95	120	2.98
6	111.29	121	2635.99
7	47.36	122	35.03
8	2705.42	123	2482.26
9	2938.44	124	31.16
10	-390.22	125	61.55
11	-418.63	126	-58.09
12	3015.88	127	-27.70
13	3014.96	128	-139.94
14	2908.02	129	-95.10
15	-213.05	130	-179.74
16	1986.52	131	-129.34
17	2841.56	132	2146.03
18	2827.83	133	316.43
19	2768.97	134	2347.98
20	2738.58	135	2055.95
21	2705.42	136	2335.48
22	2705.42	137	2941.50
23	2938.44	138	-497.53
24	2938.44	139	2898.00
25	2938.44	140	-574.44
26	2938.44	141	2886.43
27	2938.44	142	2835.78
28	2938.44	143	2828.64
29	2938.44	144	2828.64
30	2938.44	145	2794.65
31	2938.44	146	2740.74
32	2938.44	147	2710.35
33	2938.44	148	-226.51
34	2938.44	149	2651.49
35	2938.44	150	-162.21
36	2938.44	151	2621.10
37	2938.44	152	-254.82
38	2938.44	153	2413.81
39	2938.44	154	-215.09
40	2938.44	155	2380.03
41	2938.44	156	2212.22
42	2938.44	157	-263.01
43	2938.44	158	2200.06

PROPOSED AS OF DECEMBER 22, 2021
 UNITS 1-124 & 125-192 NEED NOT BE BUILT

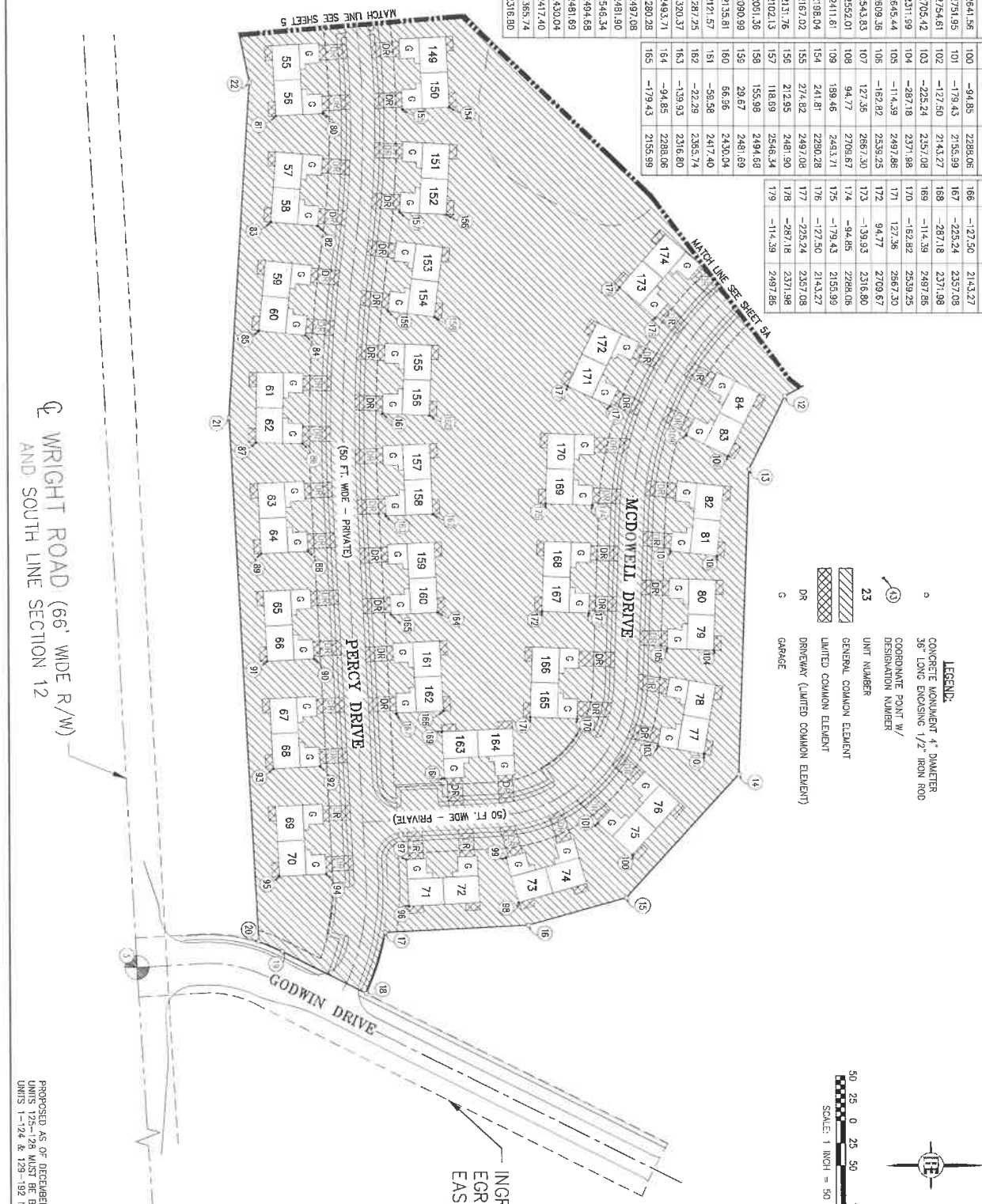
CLIENT	THE LINKS OF MARION OAKS, L.L.C.
PROJECT	THE LINKS OF MARION OAKS
TITLE	SITE PLAN NORTH

OF Lic. No. 38911
 LA VANDER KAMMER
 ENGINEER
 STATE OF MICHIGAN

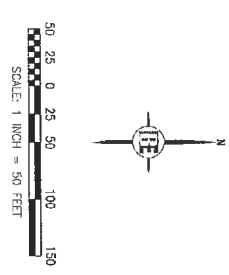
BEBOSS
Engineering
 Engineers Surveyors Planners Landscape Architects
 3121 E. GRAND RIVER AVE.
 HOWELL, MI. 48843
 800.246.6735 FAX 517.518.1670

SITE PLAN SOUTH

LIST OF COORDINATES		LIST OF COORDINATES		LIST OF COORDINATES	
NO.	NORTHING	EASTING	NO.	NORTHING	EASTING
12	281.75	284.56	100	-94.85	2288.06
13	173.69	2791.95	101	-179.43	2155.99
14	111.29	2754.61	102	-127.50	2143.27
15	47.36	2705.42	103	-225.24	2357.08
16	364.24	2371.99	104	-287.18	2371.98
17	-30.62	2809.36	105	-114.39	2487.86
18	-4.63	2809.36	106	-182.82	2539.25
19	-93.00	2543.83	107	127.35	2667.30
20	-128.23	2552.01	108	94.72	2709.67
21	-298.22	2411.61	109	189.46	2795.67
22	-349.59	2198.04	110	241.81	2890.28
80	-273.55	2167.02	111	274.82	2487.08
81	-285.58	2131.76	112	213.95	2461.90
82	-317.54	2102.13	113	157	118.69
83	-282.49	2061.36	114	155.98	2494.68
84	-240.54	2090.99	115	29.67	2461.69
85	-212.68	2135.81	116	66.96	2430.04
86	-112.31	2151.57	117	-59.58	2472.40
87	-71.75	2287.25	118	-22.29	2385.74
88	-50.54	2300.37	119	-139.93	2316.80
89	188.46	2493.71	120	-94.85	2288.06
90	241.81	2280.28	121	179	-114.39
91	274.82	2497.86	122	174	174
92	212.95	2481.90	123	173	173
93	118.69	2546.34	124	172	172
94	153.98	2494.68	125	171	171
95	29.67	2481.69	126	170	170
96	66.96	2430.04	127	169	169
97	-59.58	2417.40	128	168	168
98	-22.29	2385.74	129	167	167
99	-139.93	2316.80	130	166	166



- LEGEND:**
- CONCRETE MONUMENT 4" DIAMETER
 - 36" LONG ENCLASING 1/2" IRON ROD
 - COORDINATE POINT W/ DESIGNATION NUMBER
 - 23 UNIT NUMBER
 - ▨ GENERAL COMMON ELEMENT
 - ▨ LIMITED COMMON ELEMENT
 - DR DRIVEWAY (LIMITED COMMON ELEMENT)
 - G GARAGE



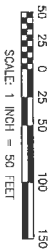
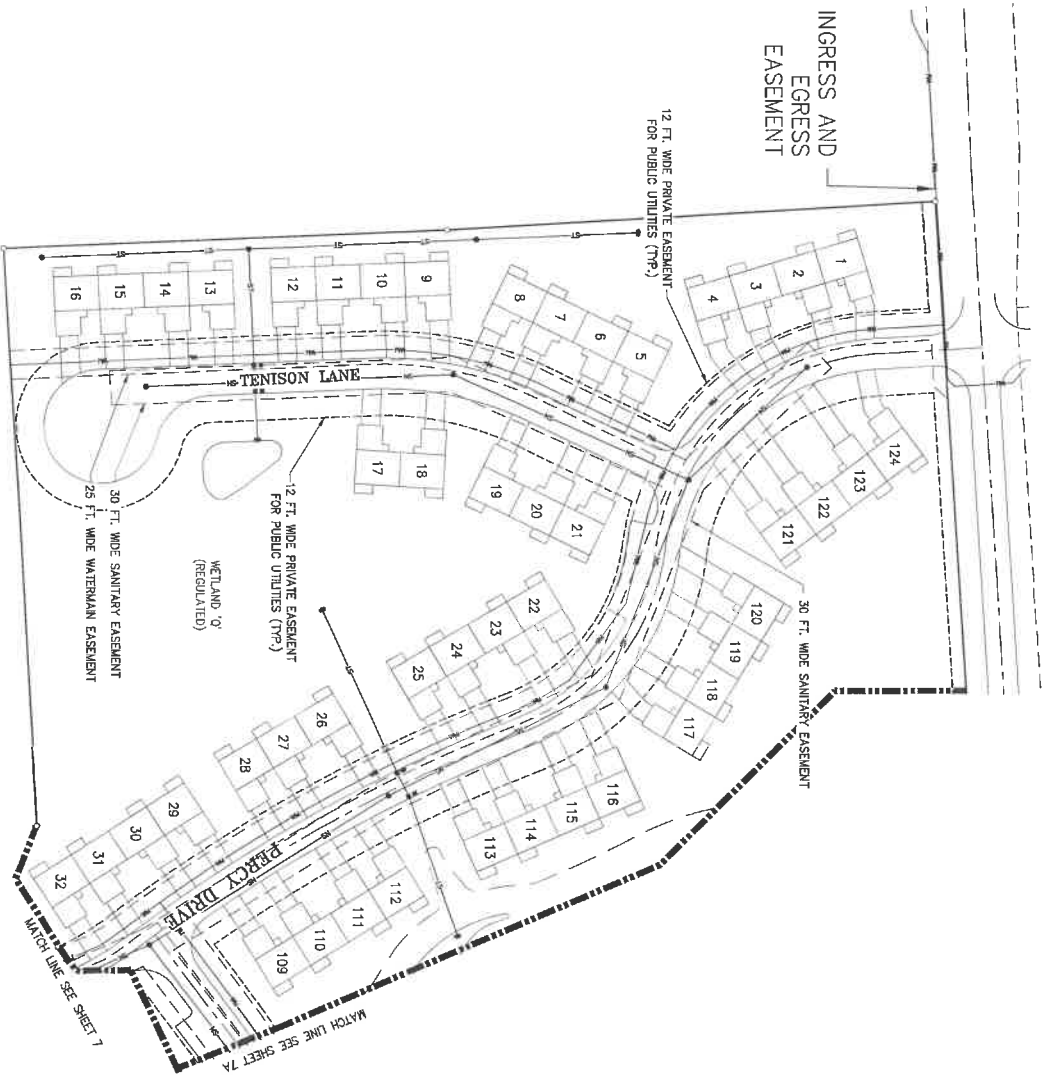
WRIGHT ROAD (66' WIDE R/W) AND SOUTH LINE SECTION 12

PROPOSED AS OF DECEMBER 22, 2021
 UNITS 125-126 MUST BE BUILT
 UNITS 1-124 & 729-192 NEED NOT BE BUILT

	CLIENT	THE LINKS OF MARION OAKS, L.L.C.
	PROJECT	THE LINKS OF MARION OAKS
	TITLE	SITE PLAN SOUTH
	DESIGNED BY: ST	DATE
	DRAWN BY: MD	REVISION
	CHECKED BY:	
	SCALE: 1" = 50'	
	DATE: 12-22-21	
	PROJECT NO. 5B	

REBOSS Engineering
 Engineers Surveyors Planners Landscape Architects
 3121 E. GRAND RIVER AVE.
 HOWELL, MI, 48843
 800.246.6735 FAX 517.548.1670

UTILITY PLAN



UTILITY NOTES:

1. ALL STORM SEWER SHALL BE ADS N-12 PIPE, 12" DIA., WITH WATER TIGHT PREMIUM JOINTS, UNLESS OTHERWISE NOTED.
2. ALL SANITARY SPOWER SHALL BE SDR-26 PVC PIPE, 8" DIA., UNLESS OTHERWISE NOTED. ALL SANITARY LEADS SHALL BE SDR-25.5 PVC PIPE, 6" DIA., UNLESS OTHERWISE NOTED.
3. ALL WATERMAIN SHALL BE CLASS 52 D.I.P., 8" DIA., UNLESS OTHERWISE NOTED. ALL WATER SERVICE LEADS SHALL BE PE SDR 9, 2" DIA., UNLESS OTHERWISE NOTED.
4. ALL UTILITY LOCATIONS SHOWN WERE TAKEN FROM GISS ENGINEERING, MARION OAKS CONSTRUCTION PLANS, DATED NOVEMBER 2021.
5. GAS - CONSUMERS ENERGY COMPANY
ELECTRIC - DTE ENERGY COMPANY
TELEPHONE - AT&T
CABLE TV - CHARTER SPECTRUM
6. UTILITY METERS SHALL BE PLACED ON EACH BUILDING AS THEY ARE CONSTRUCTED.
7. UNLESS OTHERWISE NOTED: ALL STORM SEWER IS PRIVATE AND SHALL BE MAINTAINED BY THE CONDOMINIUM ASSOCIATION. ALL SANITARY SEWER SHALL BE MAINTAINED BY THE CONDOMINIUM ASSOCIATION. ALL WATERMAIN, WATER SERVICE, GAS, PUBLIC AND SHALL BE MAINTAINED BY THE MARION, HOWELL, OGDEN, GENOA, (RHOG) WATER AUTHORITY.

THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR VERIFYING THE LOCATION AND ELEVATION OF ALL UTILITIES IN THE FIELD PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY CONFLICTS ARE APPARENT OR IF THE LOCATION OR DEPTH DIFFERS SIGNIFICANTLY FROM THE PLANS.

LEGEND:

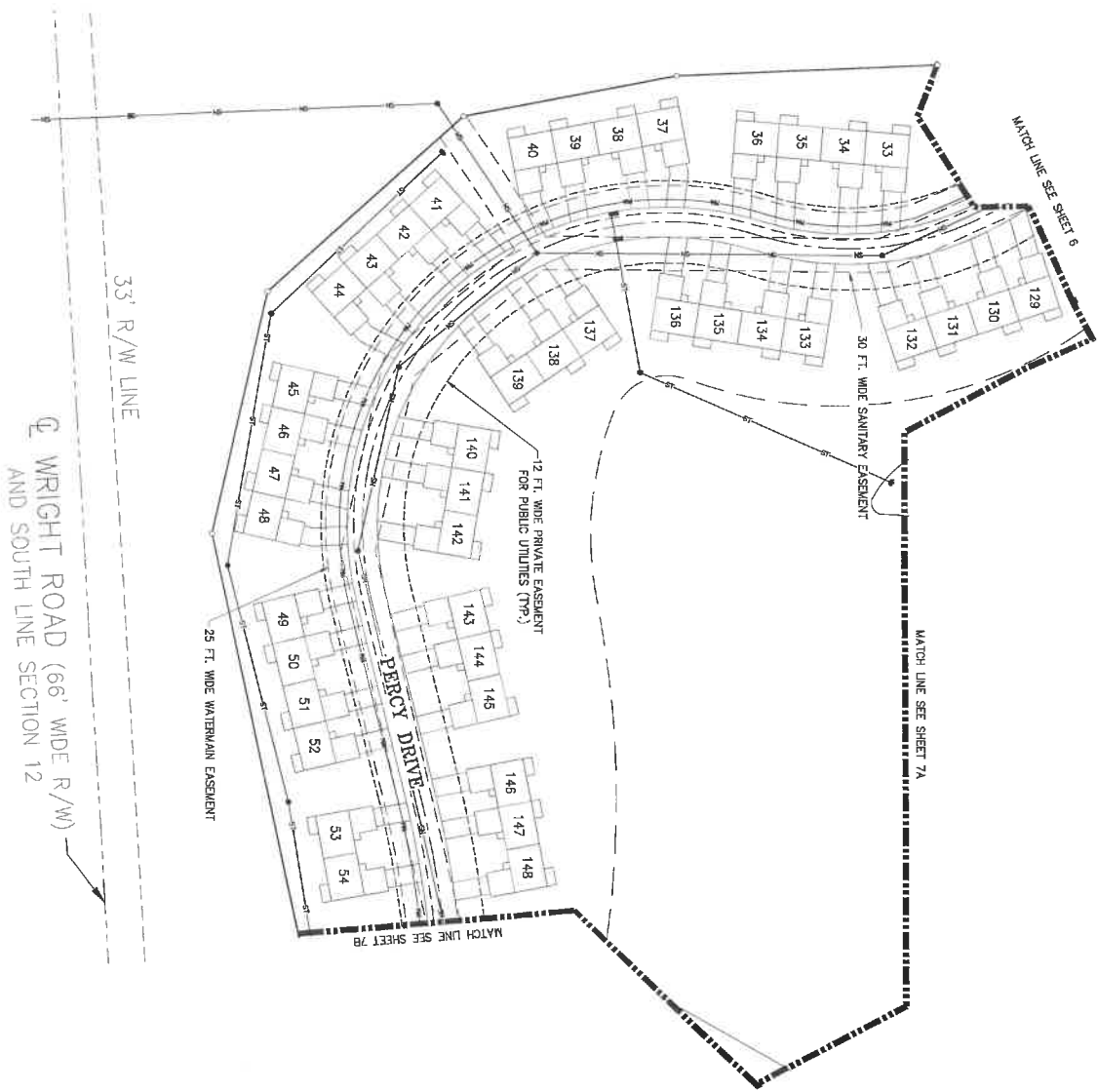
- CONCRETE MONUMENT 4" DIAMETER
- 36" LONG ENDSING 1/2" IRON ROD
- 54 UNIT NUMBER
- S1— STORM SEWER W/ MANHOLE, CATCH BASIN AND FLARED END SECTION
- SM— SANITARY SPOWER W/ MANHOLE
- WM— WATERMAIN W/ GATE VALVE & HYDRANT
- P.O.B.— POINT OF BEGINNING
- SHEET MATCH LINE

PROPOSED AS OF DECEMBER 22, 2021
UNITS 125-128 MUST BE BUILT
UNITS 1-124 & 129-192 NEED NOT BE BUILT

<p>DESIGNED BY: ST DRAWN BY: MJD CHECKED BY: ST SCALE: 1" = 50' JOB NO.: 17-283-1 DATE: 12-22-21 EXPIRES: 12-22-21</p>		<p>CLIENT: THE LINKS OF MARION OAKS, LLC</p> <p>PROJECT: THE LINKS OF MARION OAKS</p> <p>TITLE: UTILITY PLAN</p>	<p>BEOSS Engineering Engineers Surveyors Planners Landscape Architects 3121 E. GRAND RIVER AVE. HOWELL, MI. 48843 800.246.6735 FAX 517.546.1670</p>
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SHEET NO. **6**

UTILITY PLAN



UTILITY NOTES:

1. ALL STORM SEWERS SHALL BE 40S N-12 PIPE, 12" DIA. WITH WATERLOG PREMIUM JOINTS, UNLESS OTHERWISE NOTED.
2. ALL SANITARY SEWERS SHALL BE SDR-26 PVC PIPE, 8" DIA., UNLESS OTHERWISE NOTED. ALL SANITARY LEADS SHALL BE SDR-23.5 PVC PIPE, 6" DIA., UNLESS OTHERWISE NOTED.
3. ALL WATERMAIN SHALL BE CLASS 59 D.I.P., 6" DIA. UNLESS OTHERWISE NOTED. WATER SERVICE LEADS SHALL BE PE SDR 9, 2" DIA., UNLESS OTHERWISE NOTED.
4. ALL UTILITY LOCATIONS SHOWN WERE TAKEN FROM BOSS ENGINEERING, MARION OAKS CONSTRUCTION PLANS, DATED NOVEMBER 2021.
5. GAS - CONSUMERS ENERGY COMPANY
ELECTRIC - DTE ENERGY COMPANY
TELEPHONE - AT&T
CABLE TV - CHARTER SPECTRUM
6. UTILITY METERS SHALL BE PLACED ON EACH BUILDING AS THEY ARE CONSTRUCTED.
7. UNLESS OTHERWISE NOTED: ALL STORM SEWER IS PRIVATE AND SHALL BE MAINTAINED BY THE CONDOMINIUM ASSOCIATION; ALL SANITARY SEWER IS PUBLIC AND SHALL BE MAINTAINED BY THE CITY OF MARION OAKS. ALL UTILITIES SHOWN SHALL BE MAINTAINED BY THE AERION, HOWELL, OCEOLA, GEORVA (AHOOG) WATER AUTHORITY.

THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND ELEVATION OF EXISTING UTILITIES AND PROPOSED UTILITY CROSSINGS IN THE FIELD PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY CONFLICTS ARE APPARENT OR IF THE LOCATION OR DEPTH DIFFERS SIGNIFICANTLY FROM THE PLANS.

LEGEND:

- 0 CONCRETE UNIFORM 4" DIAMETER, 36" LONG EXCISING 1/2" IRON ROD
- 1 UNIT NUMBER
- ST— STORM SEWER W/ MANHOLE, CATCH BASIN AND FLARED END SECTION
- SN— SANITARY SEWER W/ MANHOLE
- WM— WATERMAIN W/ GATE VALVE & HYDRANT
- P.O.B. POINT OF BEGINNING
- SHEET WATCH LINE

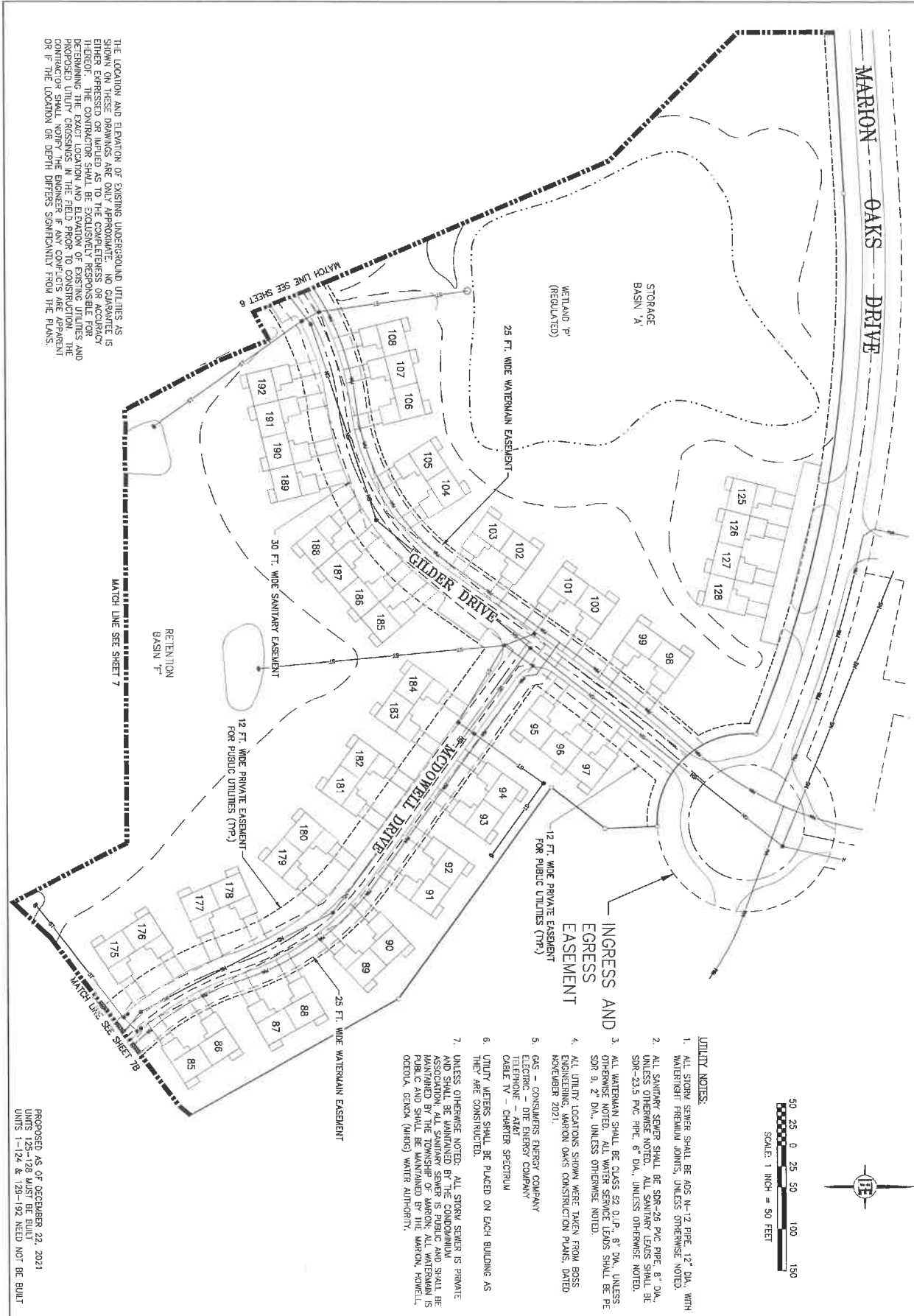
PROPOSED AS OF DECEMBER 22, 2021
UNITS 125-128 MUST BE BUILT
UNITS 1-124 & 129-192 NEED NOT BE BUILT

CLIENT	THE LINKS OF MARION OAKS, LLC
PROJECT	THE LINKS OF MARION OAKS
TITLE	UTILITY PLAN
DATE	
REVISION	
NOT BY	

BEBOSS
Engineering
Engineers Surveyors Planners Landscape Architects
3121 E. GRAND RIVER AVE.
HOWELL, MI. 48843
800.246.6735 FAX 517.548.1670

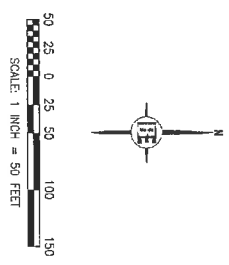
SHEET NO. 7

UTILITY PLAN NORTH



THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY HEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND ELEVATION OF EXISTING UTILITIES AND PROPOSED UTILITY CROSSINGS IN THE FIELD PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS OR IF THE LOCATION OR DEPTH DIFFERS SIGNIFICANTLY FROM THE PLANS.

- UTILITY NOTES:**
1. ALL STORM SEWER SHALL BE AOS N-12 PIPE, 12" DIA., WITH WATER-TIGHT PREMIUM JOINTS, UNLESS OTHERWISE NOTED.
 2. ALL SANITARY SEWER SHALL BE SDR-26 PVC PIPE, 8" DIA., UNLESS OTHERWISE NOTED. ALL SANITARY FITTINGS SHALL BE SDR-26.3 PVC FPEL, 8" DIA., UNLESS OTHERWISE NOTED.
 3. ALL WATERMAIN SHALL BE CLASS 52 D.I.P., 8" DIA., UNLESS OTHERWISE NOTED. ALL WATER SERVICE LEADS SHALL BE PE SDR 9, 2" DIA., UNLESS OTHERWISE NOTED.
 4. ALL UTILITY LOCATIONS SHOWN WERE TAKEN FROM BOSS ENGINEERING, MARION OAKS CONSTRUCTION PLANS, DATED NOVEMBER 2021.
 5. GAS - CONSUMERS ENERGY COMPANY
ELECTRIC - DTE ENERGY COMPANY
CABLE TV - AMERITEL SPECTRUM
 6. UTILITY METERS SHALL BE PLACED ON EACH BUILDING AS THEY ARE CONSTRUCTED.
 7. UNLESS OTHERWISE NOTED - ALL STORM SEWER IS PRIVATE AND SHALL BE MAINTAINED BY THE CONDOMINIUM ASSOCIATION. ALL SANITARY SEWER IS PUBLIC AND SHALL BE MAINTAINED BY THE TOWNSHIP OF MARION. ALL WATERMAIN IS PUBLIC AND SHALL BE MAINTAINED BY THE MARION, HOWELL, OCEOLA, GENOA (ARHO) WATER AUTHORITY.



PROPOSED AS OF DECEMBER 22, 2021
UNITS 125-128 MUST BE BUILT
UNITS 1-124 & 129-192 NEED NOT BE BUILT

	CLIENT	THE LINKS OF MARION OAKS, L.L.C.
	PROJECT	THE LINKS OF MARION OAKS
	TITLE	UTILITY PLAN NORTH
DESIGNED BY: JEB DRAWN BY: JEB CHECKED BY: JEB SCALE: 1" = 50' JOB NO.: 17-283-1 DATE: 12-22-21 LAYOUT REVISIONS:	REVISION DATE	BOSS Engineering Engineers Surveyors Planners Landscape Architects 3121 E. GRAND RIVER AVE. HOWELL, MI. 48843 800.246.6735 FAX 517.548.1670

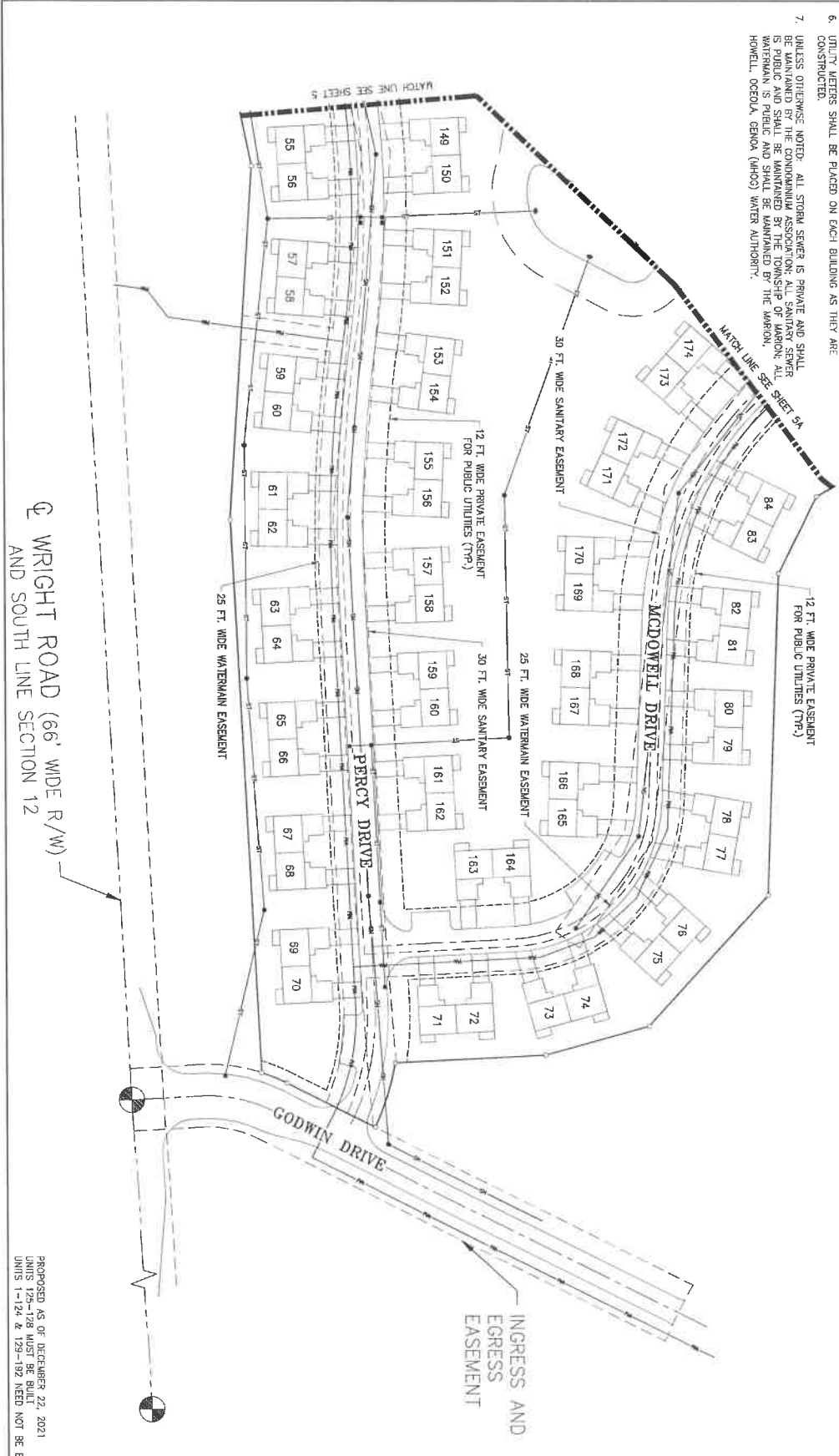
SHEET NO. **7A**

UTILITY PLAN SOUTH

UTILITY NOTES:

1. ALL STORM SEWERS SHALL BE ADS N-12 PIPE, 12" DIA., WITH WATERIGHT PREMIUM JOINTS, UNLESS OTHERWISE NOTED.
2. ALL SANITARY SEWER SHALL BE 500-25 PVC PIPE, 8" DIA., UNLESS OTHERWISE NOTED. ALL SANITARY LEADS SHALL BE SDR-25 PVC PIPE, 8" DIA., UNLESS OTHERWISE NOTED.
3. ALL WATERMAIN SHALL BE CLASS 52 D.I.P., 8" DIA., UNLESS OTHERWISE NOTED. ALL WATER SERVICE LEADS SHALL BE PE SDR 9, 2" DIA., UNLESS OTHERWISE NOTED.
4. ALL UTILITY LOCATIONS SHOWN WERE TAKEN FROM BOSS ENGINEERING, MARION OAKS CONSTRUCTION PLANS, DATED NOVEMBER 2021.
5. GAS - CONSUMERS ENERGY COMPANY
ELECTRIC - DTE ENERGY COMPANY
TELEPHONE - AT&T
CABLE TV - CHARTER SPECTRUM
6. UTILITY METERS SHALL BE PLACED ON EACH BUILDING AS THEY ARE CONSTRUCTED.
7. UNLESS OTHERWISE NOTED, ALL STORM SEWER, PRIVATE AND SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION. ALL SANITARY SEWER IS PUBLIC AND SHALL BE MAINTAINED BY THE TOWNSHIP OF MARION. ALL WATERMAIN IS PUBLIC AND SHALL BE MAINTAINED BY THE MARION, HOWELL, OCEOLA, GENOA (MHO) WATER AUTHORITY.

THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO GUARANTEE IS GIVEN BY THE ENGINEER FOR THE ACCURACY OF ANY UTILITIES SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT LOCATION AND ELEVATION OF EXISTING UTILITIES AND PROPOSED UTILITY CROSSINGS IN THE FIELD PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY CONFLICTS ARE APPARENT OR IF THE LOCATION OR DEPTH DIFFERS SIGNIFICANTLY FROM THE PLANS.



WRIGHT ROAD (66' WIDE R/W) AND SOUTH LINE SECTION 12

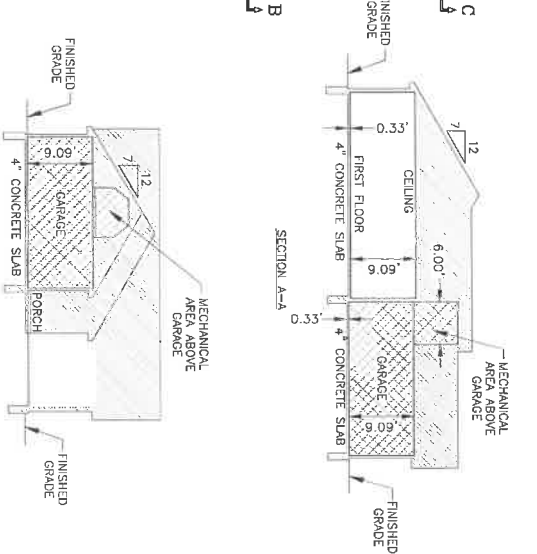
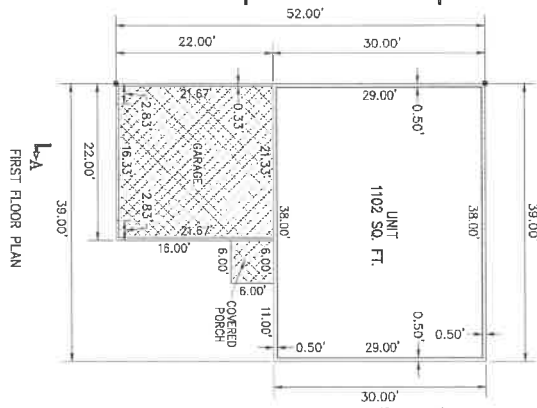
PROPOSED AS OF DECEMBER 22, 2021
UNITS 125-128 MUST BE BUILT
UNITS 1-124 & 129-192 NEED NOT BE BUILT

		CLIENT THE LINKS OF MARION OAKS, L.L.C.	<p>BEBoss Engineering Engineers Surveyors Planners Landscape Architects 3121 E. GRAND RIVER AVE. HOWELL, MI. 48843 800.246.6735 FAX 517.548.1670</p>
PROJECT THE LINKS OF MARION OAKS		TITLE UTILITY PLAN SOUTH	
DATE 	REVISION 	CLIENT 	

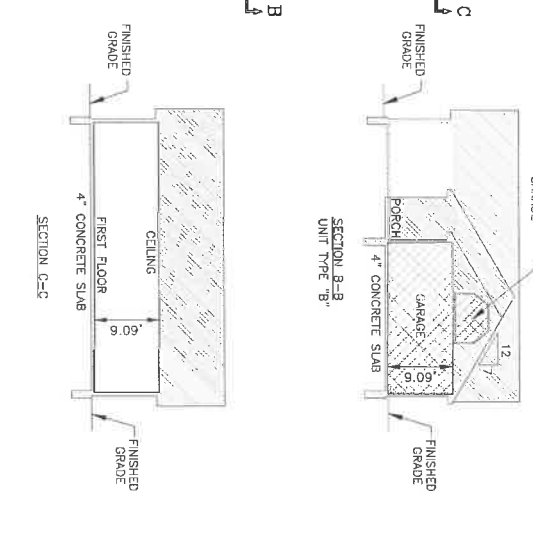
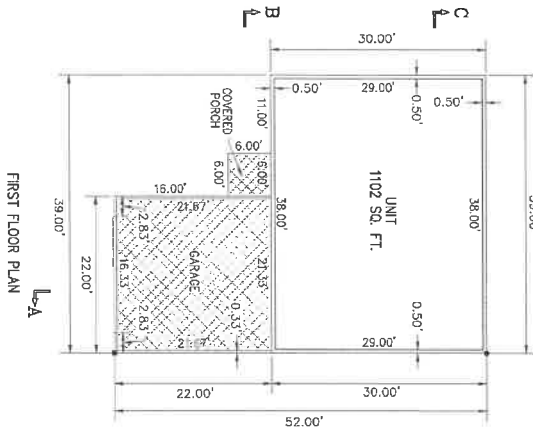
SCALE: 1 INCH = 50 FEET

PROPOSED AS OF DECEMBER 22, 2021
UNITS 125-128 MUST BE BUILT
UNITS 1-124 & 129-192 NEED NOT BE BUILT

UNIT TYPE "A"
F-P-A



UNIT TYPE "B"
F-P-A



FLOOR PLAN

SCALE: 1 INCH = 8 FEET

UNIT NO.	UNIT TYPE	ELEVATION	UNIT NO.	UNIT TYPE	ELEVATION	UNIT NO.	UNIT TYPE	ELEVATION	UNIT NO.	UNIT TYPE	ELEVATION
1	B	951.69	51	A	952.48	101	A	948.59	151	A	946.86
2	B	951.69	52	A	952.48	102	B	949.34	152	B	946.86
3	A	951.69	53	B	950.73	103	A	949.34	153	A	946.86
4	A	951.69	54	A	950.73	104	A	949.34	154	A	946.86
5	B	950.50	55	B	949.13	105	A	950.51	155	B	950.53
6	B	950.50	56	A	949.13	106	B	949.13	156	A	950.53
7	A	950.50	57	B	949.11	107	A	948.81	157	B	950.56
8	A	949.98	58	A	949.11	108	A	948.81	158	A	950.66
9	B	949.98	59	B	950.33	109	B	948.30	159	B	946.74
10	B	949.98	60	A	950.33	110	A	948.30	160	A	946.74
11	A	949.98	61	B	950.50	111	A	949.50	161	A	946.50
12	A	949.98	62	A	950.50	112	B	949.50	162	B	946.50
13	B	949.86	63	B	950.54	113	B	949.14	163	A	953.01
14	A	949.86	64	A	950.54	114	A	948.44	164	B	955.00
15	A	949.86	65	B	949.50	115	A	950.27	165	A	955.00
16	A	949.86	66	A	949.50	116	A	950.27	166	B	953.92
17	B	950.56	67	B	950.72	117	B	951.76	167	A	953.92
18	A	950.56	68	A	950.72	118	B	951.76	168	B	953.92
19	B	951.66	69	B	950.66	119	A	951.76	169	A	952.75
20	A	951.66	70	A	950.66	120	A	951.76	170	B	952.75
21	A	951.66	71	B	952.59	121	B	952.40	171	A	951.83
22	B	950.56	72	A	952.59	122	B	952.40	172	B	950.66
23	B	950.56	73	B	953.63	123	A	952.40	173	A	950.66
24	A	950.56	74	A	953.63	124	A	952.40	174	B	950.66
25	A	950.56	75	B	954.47	125	B	949.76	175	A	950.92
26	B	949.17	76	A	954.47	126	B	949.76	176	B	950.92
27	A	949.17	77	B	954.92	127	A	949.76	177	A	952.10
28	A	949.17	78	A	954.92	128	A	949.76	178	B	952.10
29	B	950.56	79	B	954.34	129	A	952.17	179	A	952.17
30	B	950.56	80	A	954.34	130	A	950.90	180	B	952.17
31	A	950.56	81	B	953.27	131	B	950.87	181	A	950.87
32	A	950.56	82	A	953.27	132	B	950.90	182	B	950.87
33	B	950.47	83	B	951.83	133	A	950.16	183	A	949.73
34	B	950.47	84	A	951.83	134	A	950.16	184	B	948.73
35	A	950.47	85	A	950.97	135	B	950.16	185	A	950.31
36	A	950.47	86	A	950.97	136	B	950.16	186	A	950.31
37	B	949.40	87	B	952.17	137	A	949.99	187	B	950.31
38	B	949.40	88	A	952.17	138	A	949.99	188	B	950.31
39	A	949.40	89	B	952.46	139	B	949.99	189	A	950.08
40	A	949.40	90	A	952.46	140	A	952.22	190	A	950.08
41	B	951.18	91	B	951.38	141	A	952.22	191	B	950.08
42	B	951.18	92	A	951.38	142	B	952.22	192	B	950.08
43	A	951.18	93	B	950.24	143	A	951.88			
44	A	951.18	94	A	950.24	144	A	951.88			
45	B	952.38	95	B	949.35	145	B	951.88			
46	B	952.38	96	A	949.35	146	A	949.97			
47	A	952.38	97	A	949.35	147	A	949.97			
48	A	952.48	98	B	949.77	148	B	949.97			
49	B	952.48	99	A	949.77	149	A	949.06			
50	B	952.48	100	B	948.59	150	A	949.06			



PROPOSED AS OF DECEMBER 22, 2021
UNITS 125-128 MUST BE BUILT
UNITS 1-124 & 129-192 NEED NOT BE BUILT

CLIENT: THE LINKS OF MARION OAKS, LLC
PROJECT: THE LINKS OF MARION OAKS
TITLE: FLOOR PLAN

REGISTERED PROFESSIONAL ENGINEER
LAWRENCE J. LAMARCA
LICENSE NO. 3820
MECHANICAL ENGINEER

NO.	REVISION	DATE

BEBOSS Engineering
Engineers Surveyors Planners Landscape Architects
3121 E. GRAND RIVER AVE.
HOWELL, MI. 48843
800.246.6735 FAX 517.548.1670